

Rose Kennedy Greenway Conservancy

Chinatown Fountain Streambed Repair Request for Proposals

Response Deadline: **November 4, 2024**

TABLE OF CONTENTS

I. Description

II. Scope of Work

III. RFP Schedule

IV. Proposal Requirements

4.1 Written Proposal

4.2 Fee Proposal

4.3 Construction Schedule

4.4 Insurance

4.5 Submission

V. Evaluation Process

VI. Terms and Conditions

Exhibit A: Project Location

Exhibit B: Chinatown Fountain Streambed Repair Bid Documents (Dated 09-27-2024) with Addendum 1 (Dated 10-18-2024)

Exhibit C: Chinatown Fountain Streambed Repair Bid Form (Dated 09-27-2024)

I. DESCRIPTION

The Rose Kennedy Greenway Conservancy (Conservancy) has prepared this Request for Proposal (RFP) for the purpose of soliciting Proposals (Proposal) from interested proposers (Proposer or Proposers) for the repair of the Chinatown fountain streambed on the Rose Kennedy Greenway (The Greenway) in Boston, MA. The Chinatown fountain is an approximately 120' long stream-type water feature fed by three elevated basins. Water fills these three basins, cascades over large granite feature rocks, and is channeled through the stream section of the fountain over riverstone, terminating at a drain that collects the water to be recirculated. Now over 15 years old, the Chinatown fountain is exhibiting material deterioration and requires repair.

The project location is noted in Exhibit A. The scope of remediation shall be as described in Section II. Scope of Work with a target completion date no later than May 2, 2025.

II. SCOPE OF WORK

The scope of work for the repair of the Chinatown fountain is as described in Exhibit B, Exhibit C, and herein (Section II. Scope of Work) including but not limited to: Demolition of the existing streambed riverstone and setting bed, repairs as needed to the streambed concrete slab, installing new waterproofing and riverstone, replacing stream uplights, and removing granite stones as needed to complete work. The Contractor shall be responsible for securing all necessary permits to complete work and shall participate in construction meetings with the Conservancy including but not limited to the milestones set out below, and as reasonably requested by the Conservancy:

- Pre-construction meeting
- Submittal review
- Weekly construction meetings (hosted by the Contractor)
- Punchlist walkthrough
- Final walkthrough

As The Greenway is an active urban park space, the Contractor may be required to coordinate with the Conservancy as it relates to the repair of the Chinatown fountain and its effect on horticulture, planned events, etc.

III. RFP ESTIMATED SCHEDULE

Phase	Date
RFP released	October 4, 2024
Site visit	October 17, 2024 @ 9am
Any questions due via email	October 21, 2024 @ 5pm
Answers to RFP questions posted on The Greenway's website	October 28, 2024 @ 5pm
Deadline for Proposals	November 4, 2024 @ 5pm
Proposer team interviews	Nov 18, 2024 - Dec 6, 2024
Proposer team selected	By December 16, 2024
Contract executed	By January 6, 2025

*For the site visit, please RSVP via email to rtzen@rosekennedygreenway.org. We will meet in Chinatown Park under the traditional gate over Beach Street on **Thursday, October 17, 2024 at 9am**, weather dependent.

IV. PROPOSAL REQUIREMENTS

4.1 WRITTEN PROPOSAL

A. Experience:

Provide examples of comparable projects, including location and description of scope. Summarize critical challenges faced and subsequent outcomes.

B. Staff and Qualifications:

Provide a description of the team including but not limited to the project manager, key staff, and subcontractors. Include descriptions of role, responsibilities, qualifications, and involvement in comparable projects.

C. References:

Provide contact information for three references of clients and/or organizations with comparable contracts that can attest to your abilities. References should have firsthand work experience with your company within the past 5 years.

4.2 FEE PROPOSAL

Please provide an itemized cost proposal that meets the scope as outlined above utilizing ***Exhibit C: Chinatown Fountain Streambed Repair Bid Form (Dated 09-27-2024)***.

4.3 CONSTRUCTION SCHEDULE

Please provide an Itemized construction schedule that includes a GANTT chart, or similar, and that meets the scope of work as described in Section II. Proposers may provide additional documents to clarify the proposed construction schedule.

The target completion date for the Chinatown fountain streambed repair project is no later than May 2, 2025.

4.4 INSURANCE

The following insurance requirements represent the minimum required insurance coverages and limits that the Contractor will need to provide, as further detailed in the contract. It is understood that these limits will not limit the liability of the Contractor.

A. Workers Compensation

Contractor shall maintain the following workers compensation limits:

Coverage A Workers Compensation: Statutory as Required by Massachusetts Law

Coverage B Employers Liability:

- bodily injury by accident \$500,000 each accident
- bodily injury by disease \$500,000 each employee
- bodily injury by disease \$500,000 policy limit

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B. Property

Contractor must secure property insurance on an all risk basis, subject to full replacement cost for all property used in conjunction with Contractor's operations with the Conservancy. Such insurance should contain a waiver of subrogation stating Contractor waives all rights of subrogation against the Conservancy for loss to Contractor's property. It is agreed that the Conservancy is not responsible for any loss whatsoever to Contractor's property.

C. Automobile Liability

Contractor shall maintain the following minimum limits of automobile liability insurance:

- \$1,000,000 per accident, bodily injury and property damage combined
- Coverage must include non-owned and hired liability.

D. General Liability

Contractor shall maintain the following minimum limits of general liability insurance:

- \$1,000,000 per occurrence for bodily injury and property damage
- \$5,000 medical expense
- \$1,000,000 personal injury
- \$2,000,000 general aggregate
- \$1,000,000 products / completed operations

Coverage must be equivalent to the most recent edition of ISO Form CG 01 01.

Coverage must be provided on a first dollar basis without a deductible. General liability policies subject to a deductible will need to be approved by the Conservancy.

E. Umbrella

Contractor shall maintain the following umbrella limits:

- \$5,000,000 per occurrence
- \$5,000,000 aggregate

Self Insured Retention: Not to exceed \$10,000.

Coverage should be equivalent or broader than the coverage afforded on the underlying general liability, automobile liability and employers liability grant within the workers compensation policy.

F. Other requirements

Certificates of Insurance evidencing the above required coverages must be provided to the Conservancy at the execution of contract. Certificates of Insurance must be provided naming the following entities as Certificate Holders:

- Rose Fitzgerald Kennedy Greenway Conservancy, Inc.; 185 Kneeland St.; Boston, MA 02111
- City of Boston; One City Hall Square; Boston, MA 02201
- Massachusetts Department of Transportation; 10 Park Plaza, Suite 3170; Boston, MA 02116

Insurance Carriers must be authorized to write business in the Commonwealth of Massachusetts and have a minimum AM Best Rating of A- VII. Certificates must specify the current AM Best Rating of each insurance carrier providing insurance to Contractor.

Certificates must also specifically state the above entities are named as additional insureds on the general liability, automobile liability, and umbrella liability policies. The certificate must also state that the coverage is being afforded to the additional insured on a primary and non-contributory basis.

All policies required must include a waiver of subrogation, waiving all of Contractor's rights against the Conservancy, The City of Boston, and the Massachusetts Department of Transportation. Certificate must note the same. The workers compensation policy must be specifically endorsed as such.

The certificate should indicate that 30 days' notice of cancellation or nonrenewal to each certificate holder will be provided. Any "endeavor to provide notice" should be deleted. The policies must be specifically endorsed to provide notice to the certificate holders.

Failure to provide property and casualty insurance certificates meeting the requirements detailed herein could result in revocation of acceptance and denial of access to The Greenway.

All insurance required must be maintained throughout the duration of the contract. If at any time during the Term of Contractor's contract with the Conservancy evidence of current insurance is not on file with the Conservancy, then Contractor's right to occupy its designated Location(s) and provide Services will be suspended until Contractor provides the Conservancy with acceptable evidence of the required insurance.

4.5 SUBMISSION DEADLINE

RFP submittals must be submitted electronically by **November 4, 2024 by 5:00 pm**. All materials must be emailed as attachments (no more than 25MB in total file size) to:

rtzen@rosekennedygreenway.org with **"Chinatown fountain streambed repair"** as the subject line.

V. EVALUATION PROCESS

The Conservancy will evaluate all Proposals in accordance with the provisions of this RFP, based on the criteria described below. In its evaluation, the Conservancy may consider all information contained in each Proposer's Proposal and any other information obtained by the Conservancy.

The Conservancy will award the contract in accordance with the "CONTRACT AWARD" section below. Before the contract is awarded the Conservancy may first conduct interviews with selected Proposers. The purpose of the interviews will be to clarify and assure understanding of the contents of the Proposal, as well as the requirements of the RFP and the potential Contract, discuss with selected Proposers deficiencies or uncertainties in their Proposal, discuss cost and fee information, and discuss any other matters relevant to such Proposal. No statements made or actions taken by any representative of the Conservancy during such discussions shall be binding on the Conservancy. If requested by the Conservancy, some or all of the key personnel identified in the Proposer's Proposal will be required to participate in the discussions or to be available for an interview with Conservancy representatives.

5.1 EVALUATION CRITERIA; BEST AND FINAL OFFER

The criteria listed below will be applied to evaluate the Proposals.

A. Best Value

The Conservancy shall select the Contractor, based on the Conservancy's assessment, in its sole discretion, of which Proposal represents the Best Value to the Conservancy. For purposes of this RFP, "Best Value" shall be deemed to mean the Proposal, which best balances and supports the following objectives: quality of work, economic value, timely performance, minimal administrative burden, prior experience, and the continuing participation of quality Contractors.

B. Best and Final Offer

At any time after submission of Proposals and prior to the final selection of a contractor for this project, the Conservancy shall have the option to provide Proposers with an opportunity to provide a “best and final offer” and may limit the number of Contractors selected for this option.

5.2 CONTRACT AWARD

The Conservancy reserves the right to reject any and all Proposals if it determines that such action is in the best interest of the Conservancy.

This RFP is not binding on the Conservancy. The Conservancy assumes no responsibility for the costs incurred in the preparation of a Proposal or related activities. This RFP and attached Exhibits have been prepared solely to solicit Proposals, and are not contract offers. The only documents that will be binding on the Conservancy are the contract duly executed by the Conservancy and the Contractor.

Proposals shall be considered a firm offer and shall remain effective unconditionally for a minimum of 1 year.

5.3 BOARD APPROVAL

In all cases, the award of the contract shall be subject to the approval of the Members of the Board of Directors of the Conservancy.

VI. TERMS AND CONDITIONS

6.1 AMENDMENTS

The Conservancy may, at any time prior to the execution of a definitive contract, and without penalty, amend this RFP or change the requirements, scope, budget or procurement schedule upon notice to Proposers. Any amendment shall be issued by means of written addendum. Any and all addenda so issued shall become part of the RFP.

6.2 PROCUREMENT CANCELLATION

The Conservancy may for any reason, and at any time prior to the execution of a definitive contract, and without penalty, notify Proposers of a cancellation of this procurement process and the rejection of all Proposals.

6.3 CORRECTIONS TO A SUBMITTED PROPOSAL

The Executive Director of the Conservancy shall determine whether to allow the correction of errors or omissions in a Proposal.

6.4 REFERENCES

The Conservancy shall have the right to request references, in addition to any references or examples of past projects specified in the RFP, at any time during the procurement process and at any time during the period of contract performance. The Conservancy may verify any references included in a Proposal and conduct any other reference or credit checks as it deems appropriate. The Conservancy may consider any written references, including documentation of performance records of a Proposer on file at the Conservancy or solicited from any other entity, documentation of reference checks or other documentation solicited by or submitted to the Conservancy during the procurement process.

6.5 DISQUALIFICATION

- A. The Conservancy may disqualify any Proposal that it determines in its sole discretion to be unresponsive, including, but not limited to:
 - a. Proposals which are received after the deadline for submission specified in an RFP.
 - b. Proposals that fail to meet, address or comply with material requirements in an RFP, including instructions for submission, content or format.
 - c. Proposals which indicate collusion or unfair trade practices by one or more Proposers agreeing to act in a manner intended to avoid or frustrate the process described herein or any law or regulation.
 - d. Proposals submitted by a Proposer, or which identify a subcontractor, currently listed on the Conservancy's "Non-Qualified Contractor" list.
 - e. Proposals submitted by a Proposer which have an actual or potential conflict of interest, as determined by the Conservancy's Audit and Risk Management Committee, based on the information disclosed on the Proposal or on any other credible information regarding the Proposer, obtained from any reference or other source.
- B. The failure of the Conservancy to immediately reject a Proposer whose Proposal is otherwise non-responsive or unacceptable shall not preclude the Conservancy from subsequently rejecting such Proposal.
- C. In addition to the foregoing, a selected Proposer's Proposal shall be disqualified if the Conservancy in its sole discretion determines that the Proposer:
 - a. is intentionally or unreasonably delaying the timely execution of a definitive agreement;
 - b. negotiates in bad faith;
 - c. refuses to execute a definitive agreement; or
 - d. is unable to reach final agreement on contractual terms with the Conservancy within a reasonable time as determined by the Conservancy.

D. If a selected Proposer's Proposal is disqualified for any reason, the Conservancy may (but shall not be required to) negotiate a contract with the next Best Value qualified Proposer.

6.6 PRESS CONFERENCE, NEWS RELEASE RESTRICTIONS; PUBLIC RECORDS LAW

No Proposer shall make any news release or announcement, or hold any press conference, concerning its selection or non-selection for a contract prior to the Conservancy's public release of said information. The Conservancy is subject to the Massachusetts Public Records Law (M.G.L. ch. 66, Sec. 10), and will comply with any requests for information regarding this procurement process to the extent required by law.

6.7 CONTRACT AND AMENDMENT NEGOTIATION

The Conservancy may negotiate with the selected Proposer prior to execution of a contract, and with the Contractor after a Contract has been executed, with respect to cost, scope, or any other term or aspect of the work that is the subject of this RFP.

EXHIBIT A

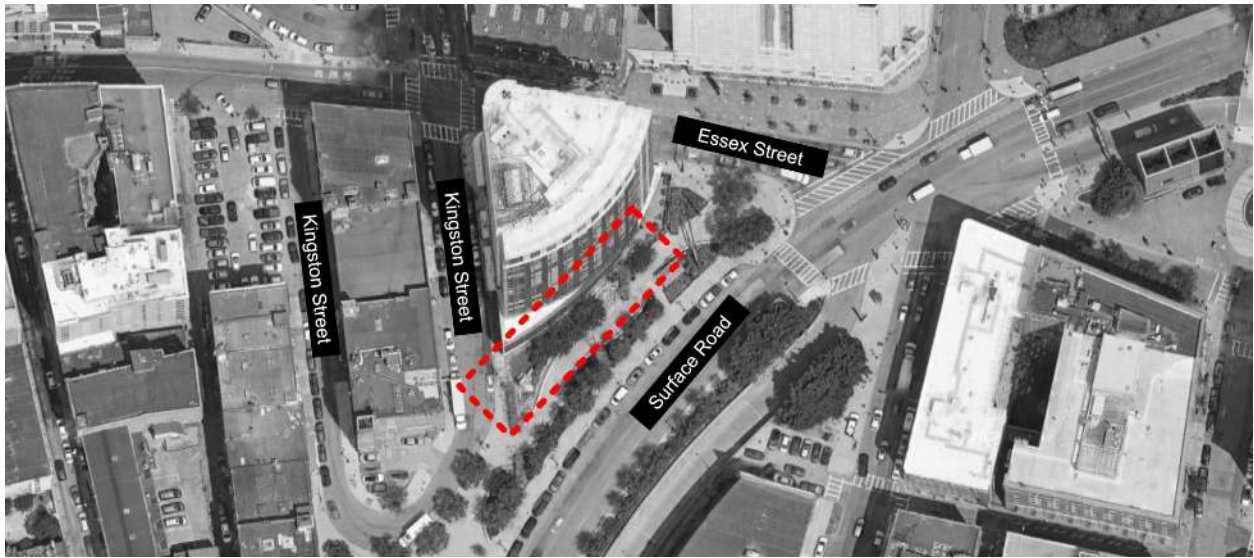


EXHIBIT B

– See document(s) that follow –



BID DOCUMENTS
SEPTEMBER 27, 2024

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.grlarchitects.com

CHINATOWN FOUNTAIN STREAMBED REPAIR PROJECT

34W LINCOLN STREET
BOSTON, MA 02111

ROSE KENNEDY
GREENWAY
CONSERVANCY

185 KNEELAND STREET
BOSTON, MA 02111

G | R | L | A

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.grlarchitects.com

2024031.01 CHINATOWN FOUNTAIN STREAMBED REPAIR PROJECT- BID DOCUMENTS - SEPTEMBER 27, 2024

GENERAL		compatible sealer. (DEDUCT) Remove and store existing granite fascia waterfall stones; remove stones back to concrete core structure containing existing waterfall "wells". Reinstall granite fascia waterfall stones after installation of PMMA waterproofing system. Installation of PMMA at waterfall "wells" and vertical concrete core structure in conjunction with associated waterstops and other accessories.		1. Contract Date: 2. Contract Start Date: 3. Contract Completion Date: 4. Contract Location: 5. Contract Description: 6. Contract Documents: 7. Contract Drawings: 8. Contract Specifications: 9. Contract Addenda: 10. Contract Amendments: 11. Contract Change Orders: 12. Contract Disputes: 13. Contract Termination: 14. Contract Assignment: 15. Contract Subcontracting: 16. Contract Insurance: 17. Contract Bonds: 18. Contract Payment: 19. Contract Disinfection: 20. Contract Safety: 21. Contract Environmental: 22. Contract Health: 23. Contract Welfare: 24. Contract Education: 25. Contract Research: 26. Contract Development: 27. Contract Innovation: 28. Contract Entrepreneurship: 29. Contract Social Responsibility: 30. Contract Sustainability: 31. Contract Resilience: 32. Contract Adaptability: 33. Contract Flexibility: 34. Contract Scalability: 35. Contract Portability: 36. Contract Interoperability: 37. Contract Compatibility: 38. Contract Reliability: 39. Contract Availability: 40. Contract Supportability: 41. Contract Maintainability: 42. Contract Upgradability: 43. Contract Extensibility: 44. Contract Integrability: 45. Contract Reconfigurability: 46. Contract Transformability: 47. Contract Evolvability: 48. Contract Resiliency: 49. Contract Robustness: 50. Contract Fault Tolerance: 51. Contract Security: 52. Contract Privacy: 53. Contract Confidentiality: 54. Contract Integrity: 55. Contract Accountability: 56. Contract Transparency: 57. Contract Openness: 58. Contract Inclusivity: 59. Contract Diversity: 60. Contract Equity: 61. Contract Justice: 62. 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certificate holder will be provided. Any "endeavor to provide notice" should be deleted. The policies must be specifically endorsed to provide notice to the certificate holders.		b. Approved equal for review to be a pure PH-neutral silicone sealant without mineral plasticizers.		2. The Contractor shall provide the Owner and Architect with a tentative schedule for anticipated mockup review dates for the following items:		dampened and excess water swept off. Installation may be made on a damp surface. Mix a 60 lb bag (27.2 kg) of 3701 Fortified Mortar with 2 - 3.2 quarts (1.9 - 3 L) of water for 2 to 3 minutes. Mix to a stiff, semi-dry consistency. Allow to slake for 5 minutes. Remix for another 2 to 3 minutes without adding any water or powder.	
6. Failure to provide property and casualty insurance certificates meeting the requirements detailed herein could result in revocation of acceptance and denial of access to The Greenway.		c. Confirm proper primer with manufacturer for specific substrate to be sealed.		2.1 Concrete Repairs		4. For river stone bed epoxy installation, All surfaces should be between 60°F (16°C) and 90°F (32°C) and structurally sound, clean and free of all dirt, oil, grease, paint, concrete sealers or curing compounds.	
7. All insurance required must be maintained throughout the duration of the contract. If at any time during the Term of Contractor's contract with the Conservancy evidence of current insurance is not on file with the Conservancy, then Contractor's right to occupy its designated Location(s) and provide Services will be suspended until Contractor provides the Conservancy with acceptable evidence of the required insurance.		B. Accessories:		2.2 PMMA waterproofing installation		5. Pour LATAPOXY 300 Adhesive Part A and Part B into a clean mixing pail and mix thoroughly. Add LATAPOXY 300 Part C Filler Powder and mix to a smooth, trowelable consistency. Mortar is ready for use immediately after mixing.	
E. Sub-Contractors are bound to the same insurance requirements as the Contractor.		1. Round backer rod - closed cell, non-gassing, polyethylene foam rod, SoftRod as manufactured by Applied Extrusion Technologies, Inc., or HBR as manufactured by Nomaco.		2.3 Mortar Setting Bed Installation		6. Follow approved manufacturer recommendations for installation and temperature requirements.	
1.10 Warranties		2. Rod diameter - joint width plus 25 percent.		2.4 River Rock Installation		7. Apply LATAPOXY 300 to the substrate with the flat side of the trowel, pressing firmly to work into surface. Comb on additional mortar with the notched side.	
A. Manufacturer Warranties:		3. Rod skin to be continuous and unbroken to prevent out-gassing and voids in overlying sealant.		D. As part of the mock-up process, the Architect reserves the right to conduct water penetration resistance testing. Mock-up materials and systems failing testing shall be rejected and replaced by the Contractor at no additional cost to the Owner. The Architect also reserves the right to test any portion of the construction during the course of the Work. Materials and systems failing testing shall be replaced at no additional cost to the Owner.		8. Install washed river rocks while epoxy is being set. Do not apply more epoxy than stones that can be placed at a single time.	
1. PMMA Waterproofing Manufacturer:		2.6 09 30 00 - STONE SETTING MATERIALS		E. The Contractor shall daily clean the site of removed materials, debris, trash, garbage, and secure materials for new work at locations agreed to with the Owner.		9. Follow approved manufacturer recommendations for installation and temperature requirements.	
1.1. Provide manufacturer's standard warranty form for the PMMA waterproofing system in which the manufacturer agrees that all materials will be free from defect and comply with all performance requirements listed in their product data sheet.		A. Basis of Design: LATICRETE 3701 Fortified Mortar Bed by LATICRETE International, Inc. of Bethany, CT.		F. At all times, the Contractor is responsible for maintaining a watertight enclosure. Daily, opened sections of the Construction will be covered for protection against wind, cold, precipitation, insect infestation and to provide security against intruders.		L. Cold Fluid Applied Waterproofing	
1.2. Warranty Period: 20 Year PMMA Membrane System Warranty from the date of Substantial Completion.		1. Material: Polymer fortified blend of carefully selected polymers, portland cement and graded aggregates.		G. Protect all areas around the Work. Prevent the Work from staining faces of masonry. Protect the base of walls from the Work by means of coverings spread on the ground and over the wall surface. Protect sills, ledges, and projections from the Work. Protect surfaces of window and door frames, as well as similar products with painted and integral finishes, from the Work.		1. Apply Aquafin Vaportight Coat SG3 Primer to all substrates to receive new PMMA waterproofing.	
1.3. The manufacturer will require attendance at a pre-construction meeting, for mock-up reviews, and sign off on substantial completion in order to provide a warranty. The Contractor shall coordinate these on-site meetings with the manufacturer's field representative as required.		2. Suitable for submerged applications		H. Protect finished work from all related work. Damage to materials shall be replaced at no additional cost to the Owner. The Architect shall be the sole Judge of replacement or repair of damage caused by the Contractor in performance of the Work.		2. Using a slow-speed (200 to 400 rpm) mechanical agitator, thoroughly mix the entire container of resin for two minutes before use. Only catalyze the amount of material that can be used within 10-15 minutes. Add the pre-measured catalyst to the resin component and stir for two minutes and apply to the substrate. Apply without dilution or thinning.	
2. Mortar Bed Manufacturer:		3. Setting bed mortar shall conform to ASTM C 270, Type S, except that latex polymer additive shall be mixed with the cementitious materials and aggregate in lieu of water.		I. When the Contractor finishes the Work, the Contractor shall leave the site clean of all materials, debris, dirt, dumpsters, Port-A-Toilets and the yard and grounds at all work and storage areas shall be raked and swept clean to the satisfaction of the Owner.		3. ALSAN TRAFIK RS 730 FIELD is to be installed on horizontal surfaces.	
2.1 Provide manufacturer's standard warranty form for mortar bed products in which the manufacturer agrees that all materials will be free from defect and comply with all performance requirements listed in their product data sheet.		4. Cement shall conform to ASTM C 150, Type II, complying with the staining requirements of ASTM C 91 for not more than 0.03 percent water soluble alkali. Fifteen percent additional cement may be used for setting granite in cold weather, (when the mean daily temperature is below 40 Fahrenheit., or is expected to fall to below 40 Fahrenheit., within 72 hours).		J. Concrete Rehabilitation		4. ALSAN TRAFIK RS 730 FLASH is to be installed on vertical surfaces.	
2.2 Warranty Period: 5 Year Mortar Bed Warranty from the date of Substantial Completion.		5. Hydrated lime shall conform to ASTM C 207.		1. Do not apply to frozen or frost-covered surfaces.		5. After mixing, apply ALSAN TRAFIK RS 730 to prepared substrate at the required consumption using a roller or brush. The resin should be applied evenly onto the surface using care not to spread too thin or pool in low areas.	
3. LED Lighting Manufacturer		6. Acceptable product: LATICRETE 3701 Fortified Mortar Bed, or LATICRETE 226 Thick Mortar Bed with 3701 Mortar Admixture, or Approved Equal.		2. Do not apply to dynamic (moving) cracks.		Install ALSAN TRAFIK RS 730 FIELD/FLASH RESIN #1/ Quartz Aggregate bonding Layer to be applied over completed PMMA installation for mortar bed adhesion.	
3.1 Provide manufacturer's standard warranty for waterproof submerged LED lighting in which the manufacturer agrees that all materials will be free from defect and comply with all performance requirements listed in their product data sheet.		B. Accessories		3. Do not use to fill expansion joints or control joints.		6. Follow approved manufacturer recommendations for installation, mixes, temperature requirements, cure times, etc.	
3.2 Warranty Period: 1 Year Lighting Warranty from the date of Substantial Completion.		1. Sika Hydrotite Adhesive or approved equal to secure waterproof to smooth, dry concrete.		4. Do not remix (retemper) hardened material.			
B. Contractor Warranties:		2. Provide Sika Greenstreak Epoxy 7300 two component epoxy gel or approved equal to secure Sika Hydrotite to rough, wet (or dry) concrete.		5. Always Pre-Dampen the substrate prior to placing hydraulic cement.			
1. The Contractor shall provide a Contractor Workmanship Guarantee; the Contractor's standard form in which the Contractor agrees to repair or replace any materials installed that do not comply with the performance and other requirements specified in these documents within the specified guarantee period.		3. Provide Leakmaster single component hydrophilic sealant or approved equal to secure Sika Hydrotite to rough, dry concrete.		6. Mixing:			
1.1. Guarantee period: Two (2) years from date of Substantial Completion.		4. Acceptable Product: Sika Hydrotite or approved equal.		6.1 Mix powder with clean, potable water.			
1.11 Project Closeout		2.3 03 01 00 - CONCRETE REHABILITATION		6.2 Use powder (neat) without adding any aggregates, chemical additives, or admixtures.			
A. The following is the Project Closeout process:		A. Work Includes: Provide labor, materials, and equipment necessary to complete the work of this section, including but not limited to the following:		6.3 Add just enough water to mix rapidly by hand to a stiff, low-slump, putty consistency. Mix no longer than 30 seconds.			
1. When substantial completion is reached, the Contractor shall perform a punch list inspection to include a list of items necessary to complete. The Contractor shall then submit a completed Punch List to the Architect, who in turn will use it to perform a punch list inspection for verification of items and/or any needed additions or modifications. The Architect shall then issue a Certificate of Substantial Completion.		1. Preparation and routing of exterior concrete curb cracks		6.4 Mix only enough product that can be successfully placed within 3 minutes under normal temperatures. Do not retemper material after initially mixing.			
2. The Contractor shall then perform the Punch List items and notify the Architect when they are finished. The Architect will then perform a verifying inspection.		2. Installation of new hydraulic cement at prepared cracks.		6.5 Clean the mixing vessel and tools immediately after each use.			
3. When all items are finished, the Contractor shall then submit to the Architect a final Application for Payment. The Architect will review and act upon it, and forward to the Owner for final payment. Final payment will not be made until such time the Contractor delivers to the Architect applicable lien waivers. Final payment will include all held retainage.		B. Basis of Design: SikaSet Waterplug by Sika Corporation of Lyndhurst, NJ.		7. Application:			
4. Prior to the Owner's final payment, the Contractor shall provide the following in a three-ring binder sorted with tabs, and using a Table of Contents for the Owner's ease of use:		1. Material: one-component, quick-setting, Portland-cement-based hydraulic repair mortar.		7.1 Pre-dampen the substrate prior to installation			
4.1. All applicable manufacturer's warranties		2. Composition: mix composed of cement, graded silica, calcium hydroxide, fillers, and additives.		7.2 Place hydraulic cement with minimum working, kneading, or rubbing.			
4.2. All applicable Contractor warranties		4. Acceptable Product: Sika SikaSet Waterplug or approved equal.		7.3 Force repair mortar into cracks or holes and hold it in place (without twisting) until the set is fully achieved.			
4.3. Any-and-all maintenance Instructions required of the Owner		2.4 07 14 16 - COLD FLUID APPLIED WATERPROOFING		7.4 Just prior to the final hard set, hydraulic cement may be "shaved" with a trowel until flush with the surrounding surface. Always shave from the center out, in the direction of the bond line.			
4.4. The name, telephone number, and e-mail address of the person or persons to be contacted in the event of an issue, problem, event, or potential claim that the Contractor needs to respond to.		A. Basis of Design: ALSAN TRAFIK RS 730 FIELD (HORIZONTAL SURFACES) and ALSAN TRAFIK RS 730 FLASH (VERTICAL SURFACES) by Soprema US of Wadsworth, OH.		7.5 If the repair area is dry at the time of placement, keep the substrate damp for 15 minutes minimum, using a fine spray misting of water, before and after placement.			
4.5. All signed Applications for Payment and Lien Waivers		1. Material: High performance, rapid-setting, polymethyl methacrylate (PMMA) liquid.		8. Follow approved manufacturer recommendations for installation, working temperatures, and curing times.			
4.6. All approved Change Orders		2. Material Properties: UV Stable, high solids, and VOC compliant.		K. Waterstops			
4.7. The Drawings		3. Conforming to ASTM D5147, D7264, C1305, D5602, D2240, D570, E96, D1929, E84, D635, and EPA Method 24.		1. Store waterstops under tarps to protect from oil, dirt, sunlight, and premature exposure to water.			
END OF SECTION		4. Acceptable Product: Soprema ALSAN TRAFIK RS 730 FIELD and ALSAN TRAFIK RS 730 FLASH or approved equal.		2. Remove all dust, dirt, oil, grease, wax, loose paint, etc. on existing substrates.			
		B. Accessories		3. Existing construction joints to be prepared to receive new waterstops.			
		1. Soprema ALSAN RS Fleece - Polyester-based reinforcement		4. Cut coil ends square (or at proper angle for mitered corners) with shears or sharp blade to fit splices together without overlaps.			
		2. Soprema Aquafin Vaportight Coat SG3 Primer- Use to avoid issues with latent moisture in concrete deck assemblies.		5. Splices shall be sealed using cyanoacrylate adhesive (super glue) and LEAKMASTER (LEAKMASTER is optional).			
		3. Soprema ALSAN TRAFIK RS 730 FIELD/FLASH RESIN #1/ Quartz Aggregate - Bonding Layer to be applied over membrane.		6. Seal any exposed open ends of SIKa HYDROTITE using LEAKMASTER.			
		4. Soprema ALSAN RS Catalyst Powder - a reactive agent used to induce curing of ALSAN RS resin products.		7. Follow approved manufacturer recommendations			
		5. Soprema Polyether Pourable Sealer- One-Part Pourable penetration sealant to be used for horizontal PMMA reglet terminations.		K. Stone Setting Materials			
		2.5 07 90 00 - SEALANTS		1. Mortar bed to be installed in lifts of 2" maximum or as required by the manufacturer.			
		A. Sealant:		2. Allow a minimum 14-day cure at 70°F (21°C) after the final grouting period prior to filling water features with water.			
		1. Approved sealants for termination of cold fluid applied waterproofing at reglets:		3. All surfaces should be between 40°F (4°C) and 90°F (32°C) and structurally sound, clean and free of all dirt, oil, grease, laitance, paint, concrete sealers or curing compounds. Dry dusty concrete slabs or masonry should be			
		a. PMMA compatible sealant, one part, neutral cure for use in most common weatherproofing applications on a wide variety of materials.					

CHINATOWN FOUNTAIN
STREAMBED
REPAIR
PROJECT

34W LINCOLN STREET
BOSTON, MA 02111

ROSE KENNEDY
GREENWAY
CONSERVANCY

185 KNEELAND STREET
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GENERAL NOTES
& SPECIFICATIONS

G0.2

2024031.01 CHINATOWN FOUNTAIN STREAMBED REPAIR PROJECT- BID DOCUMENTS - SEPTEMBER 27, 2024



1 SITE PLAN
SCALE: N.T.S.



2 EXISTING WATERFALL CONDITIONS
SCALE: N.T.S.



3 EXISTING RIVERBED CONDITIONS
SCALE: N.T.S.



4 EXISTING RIVERBED DRAIN CONDITIONS
SCALE: N.T.S.

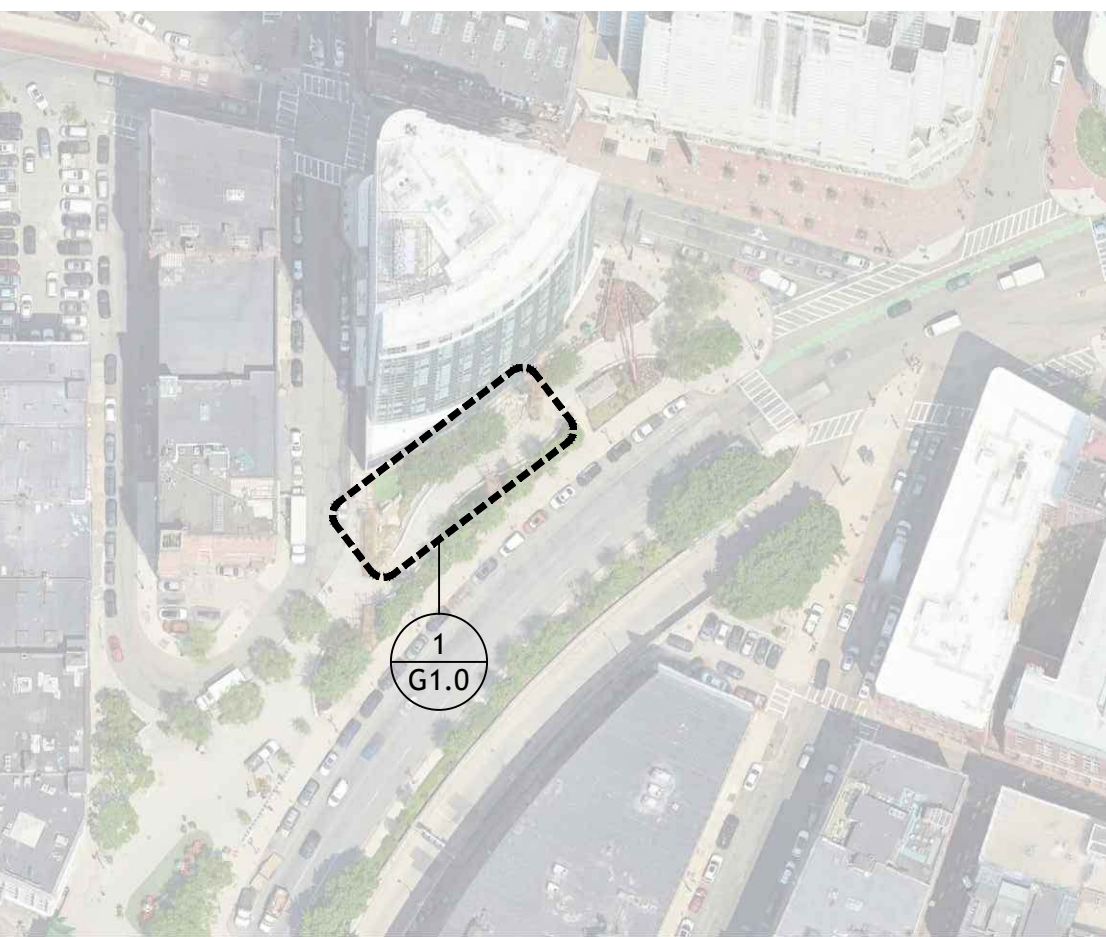
GENERAL NOTES

1. THE BASELINES FOR THESE SITE PLANS WERE TAKEN FROM SATELLITE IMAGERY AND REPRESENTATIVE IN-FIELD MEASUREMENTS. ALL DIMENSIONS SHOWN ARE APPROXIMATE; CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD.
2. ADJACENT STREETS AND EMERGENCY VEHICLE ENTRANCEWAYS MUST REMAIN OPEN AT ALL TIMES. CONTRACTOR TO APPLY FOR AND RECEIVE APPROPRIATE PERMITTING FOR MOBILIZATION AND DEMOBILIZATION THAT REQUIRES OBSTRUCTION OF ADJACENT STREETS AND TRAFFIC PATTERNS.
3. CONTRACTOR SHALL PROVIDE ALL TEMPORARY BARRICADES TO PREVENT PEDESTRIANS FROM ACCESSING THE WORK AREAS OR FROM WALKING UNDER WORK LOCATIONS.
4. PROVIDE CHAIN LINK FENCE AROUND STAGING LOCATIONS TO PREVENT UNAUTHORIZED ACCESS.
5. THE CONTRACTOR IS TO PROVIDE LOCKS AROUND FENCING TO PREVENT UNAUTHORIZED ACCESS TO THE WORK SITE.
6. THE CONTRACTOR IS TO PROVIDE TEMPORARY SIGNAGE TO DIRECT THE FLOW OF PEDESTRIAN TRAFFIC IN A SAFE MANNER AWAY FROM THE WORK SITE.
7. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE PROPOSED STAGING/LAYDOWN AREAS FOR THE OWNER'S REVIEW THAT WILL MINIMIZE DISRUPTIONS TO FOOT TRAFFIC IN THE GENERAL AREA.
8. COORDINATE THE DISCONNECTION AND RECONNECTION OF ANY SITE UTILITIES WITH THE OWNER PRIOR TO PERFORMING THE WORK. ANY DAMAGE CAUSED BY THE CONTRACTOR'S PROJECT WORK ACTIVITY SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER OWN COST AND TO THE SATISFACTION OF THE OWNER.
9. CONTRACTOR PARKING ON SITE IS NOT PERMITTED. CONTRACTOR TO COORDINATE PUBLIC PARKING.
10. HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS A MEANS OF QUANTIFYING.
11. THE OWNER REQUIRES COMPLIANCE ON WORK HOURS, SCHEDULING, SET UP, CLEANUP, PARKING, SECURITY, ETC. REFER TO SPECIFICATIONS FOR OWNERS REQUIREMENTS.
12. THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
13. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
14. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
15. ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR.
16. NO HAZARDOUS MATERIAL SAMPLING AND TESTING HAS BEEN PERFORMED. IF A SUSPECTED HAZARDOUS MATERIAL IS ENCOUNTERED, THE CONTRACTOR IS TO ADHERE TO ALL APPLICABLE PROTOCOLS IN REGARD TO HANDLING, DEMOLITION, ABATEMENT AND DISPOSAL AS DICTATED BY LOCAL, STATE, AND FEDERAL REQUIREMENTS.

LEGEND

- | | | | |
|--|------------------------|--|---|
| | NOT IN CONTRACT | | PROPOSED FENCING PERIMETER |
| | LIMIT OF WORK | | OWNER'S PROPERTY LINE; APPROXIMATE LIMITS. TO BE CONFIRMED. NO FENCING, LAYDOWN, ETC. TO OCCUR BEYOND THESE EXTENTS |
| | PROPOSED LAY DOWN AREA | | PEDESTRIAN WALKWAY; TO REMAIN UNIMPEDED DURING CONSTRUCTION |
| | BUILDING ENTRANCE | | |
| | ELEVATION MARKER | | |

LOCUS PLAN



CHINATOWN FOUNTAIN
STREAMBED
REPAIR
PROJECT

34W LINCOLN STREET
BOSTON, MA 02111

ROSE KENNEDY
GREENWAY
CONSERVANCY

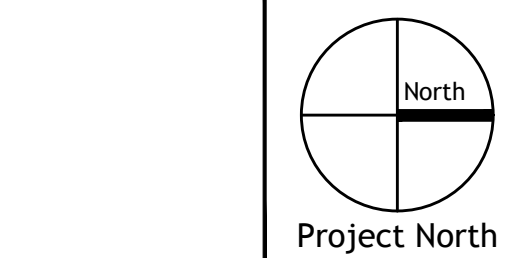
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Date: SEPTEMBER 24, 2024
Proj. No.: 2024031.01
Scale: AS NOTED
Drawn By: APK
Checked By: RG
File Name: _G1_0.dwg

SITE PLAN

G1.0

34W LINCOLN STREET
BOSTON, MA 02111

185 KNEELAND STREET
BOSTON, MA 02111

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239 South Street Hopkinton, MA 01748
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A1.0



SCALE: 1/4" = 1'-0"

PLAN VIEW

NOTE: EXISTING FIELD CONDITIONS MAY VARY THAN WHAT IS DISPLAYED ON EXISTING DRAWINGS. DIMENSIONS HAVE BEEN INCLUDED TO BE MORE REPRESENTING OF FIELD CONDITIONS. CONTRACTOR TO VERIFY DIMENSIONS AND LOCATIONS OF WORK.

1. THE INFORMATION SHOW ON THIS PLAN HAS BEEN COMPILED FROM VARIOUS SOURCES AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD.
2. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE PROPOSED STAGING/LAYDOWN AREAS FOR THE OWNER'S REVIEW THAT WILL MINIMIZE DISRUPTIONS TO FOOT TRAFFIC IN THE GENERAL AREA.
3. COORDINATE THE DISCONNECTION, RECONNECTIONS, OR CONNECTION OF ANY SITE OR FOUNTAIN UTILITIES WITH THE OWNER PRIOR TO PERFORMING THE WORK.
4. ALL WORK IS TO BE PERFORMED AT THE EXTERIOR. CONTRACTOR TO PROVIDE SANITARY FACILITIES FOR LABORERS; LOCATION TO BE COORDINATED WITH THE OWNER.
5. THE CONTRACTOR SHALL ENDEAVOR TO LIMIT INTERACTIONS WITH PEDESTRIANS, ADJACENT BUILDING OCCUPANTS, ETC.
6. ALL STONES, PAVERS, GRANITE BLOCKS, AND OTHER MATERIALS THAT ARE TO BE REINSTALLED SHOULD BE TAGGED AND NUMBERED SO THAT THEY CAN BE REINSTALLED AT THE SAME LOCATIONS.
7. OVERALL FINISH GRADE OF NEW RIVER BED MATERIALS TO MATCH THAT OF THE EXISTING FINISH GRADES. PRIOR TO THE START OF WORK, THE CONTRACTOR IS TO REMOVE ALL FINAL GRADES WITH THE ARCHITECT PRIOR TO THE INSTALLATION OF NEW MATERIALS.

ALTERNATE #1 - (ADD) REPAIR CRACKS AT EXTERIOR CONCRETE CURB. REPAIR OWNER AND ALL SPALLS, CRACKS, DEFECTS, ETC., IN EXISTING CONCRETE CURB TO REMAIN. ATTACHED GRANITE CURB TO REMAIN. SEE DWG 6/A7.0.

REMOVE AND DISPOSE OF EXISTING RIVER STONES AND MORTAR SETTING BED DOWN TO EXISTING SLOPED CONCRETE RIVER BED.

EXISTING STONE BLOCKS IN RIVERBED TO BE REMOVED AND STORED; REINSTALL AFTER INSTALLATION OF NEW WATERPROOFING SYSTEM AND MORTAR BED WITH EPOXY. OWNER AND ARCHITECT TO CONFIRM FINAL PLACEMENT.

REMOVE AND STORE EXISTING GRANITE FASCIA WATERFALL STONES; REMOVE STONES BACK TO CONCRETE CURB STRUCTURE CONTAINING EXISTING WATERFALL "WELLS". REINSTALL GRANITE FASCIA WATERFALL STONES AFTER INSTALLATION OF PMMA WATERPROOFING SYSTEM. OWNER AND ARCHITECT TO CONFIRM FINAL PLACEMENT.

REPAIR ANY AND ALL SPALLS, CRACKS, DEFECTS, ETC., IN EXISTING CONCRETE STRUCTURES TO REMAIN. INFORM THE ARCHITECT AND OWNER IF ANY SIGNIFICANT DETEIORATION IS ENCOUNTERED DURING DEMOLITION PROCEDURES.

CONTRACTOR TO TEMPORARILY DISCONNECT ELECTRICAL SERVICES FOR RIVERBED LIGHTING. REMOVE AND DISPOSE OF EXISTING INSET RIVERBED LIGHTING; INSTALL AND CONNECT NEW INSET LED LIGHTING PER THE DIRECTION OF THE OWNER.

NEW PMMA WATERPROOFING SYSTEM TO BE INSTALLED ON EXISTING CONCRETE RIVERBED STRUCTURE, CONCRETE CURB STRUCTURE AT WATERFALL, AND EXISTING WATERFALL WELLS. HORIZONTAL SURFACES TO RECEIVE TYPICAL PMMA SYSTEM; VERTICAL SURFACES TO RECEIVE PMMA FLASHING SYSTEM. NEW REGLETS TO BE INSTALLED AT EXISTING CONCRETE AND GRANITE CURBS FOR TERMINATION OF NEW WATERPROOFING. COORDINATE WITH ARCHITECT PRIOR TO PERFORMING WORK ON REGLETS. NEW WATERPROOFING SYSTEM TO TERMINATE APPROXIMATELY 3" BELOW NEW MORTAR/RIVER STONE SETTING BED. WATERSTOPS TO BE INSTALLED WHERE INDICATED. REMOVE EXISTING GROUT AT JOINTS BETWEEN EXISTING GRANITE CURBS. INSTALL NEW GROUT TO FULL DEPTH AT JOINTS BETWEEN EXISTING GRANITE CURBS.

INSTALL NEW MORTAR SETTING BED WITH NEW RIVER STONES TO IN-LIKE KIND CONDITION.


CONTRACTOR TO TEMPORARILY DISCONNECT ELECTRICAL AND/OR MECHANICAL SERVICES AS REQUIRED IN ORDER TO PERFORM THE WORK. RECONNECTION TO BE PERFORMED UPON COMPLETION OF THE WORK.

ALTERNATE #2 - (ADD) CUTTING OF A HORIZONTAL REGLET IN EXISTING CONCRETE SLAB IN FRONT OF WATERFALL GRANITE FASCIA. TERMINATION OF PMMA TO OCCUR AT THIS REGLET WITH COMPATIBLE POURABLE SEALER. (DEDUCT) REMOVE AND STORE EXISTING GRANITE FASCIA WATERFALL STONES; REMOVE STONES BACK TO CONCRETE CURB STRUCTURE CONTAINING EXISTING WATERFALL "WELLS". REINSTALL GRANITE FASCIA WATERFALL STONES AFTER INSTALLATION OF PMMA WATERPROOFING SYSTEM. INSTALLATION OF WATERFALL "WELLS" AND VERTICAL CONCRETE CURB STRUCTURE IN CONJUNCTION WITH ASSOCIATED WATERSTOPS AND OTHER ACCESSORIES. SEE DWGS 182/A7.3.

L	EXISTING RIVERBED LIGHTING; TO BE REMOVED AND REPLACED.
D	EXISTING DRAIN/SUMP; TO REMAIN, NEW GASKETING TO BE INSTALLED AS NECESSARY
C	EXISTING LIGHTING CONDUIT BOX; TO REMAIN, NEW GASKETING TO BE INSTALLED AS NECESSARY

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Project North

Date: SEPTEMBER 27, 202

Proj. No.: 2024031.01

Scale: AS NOTE

Drawn By: AP

Checked By: RG

File Name: A1_0.dwg

EXISTING FOUNTAIN & RIVER BED PLAN

CHINATOWN FOUNTAIN
STREAMBED
REPAIR
PROJECT

34W LINCOLN STREET
BOSTON, MA 02111

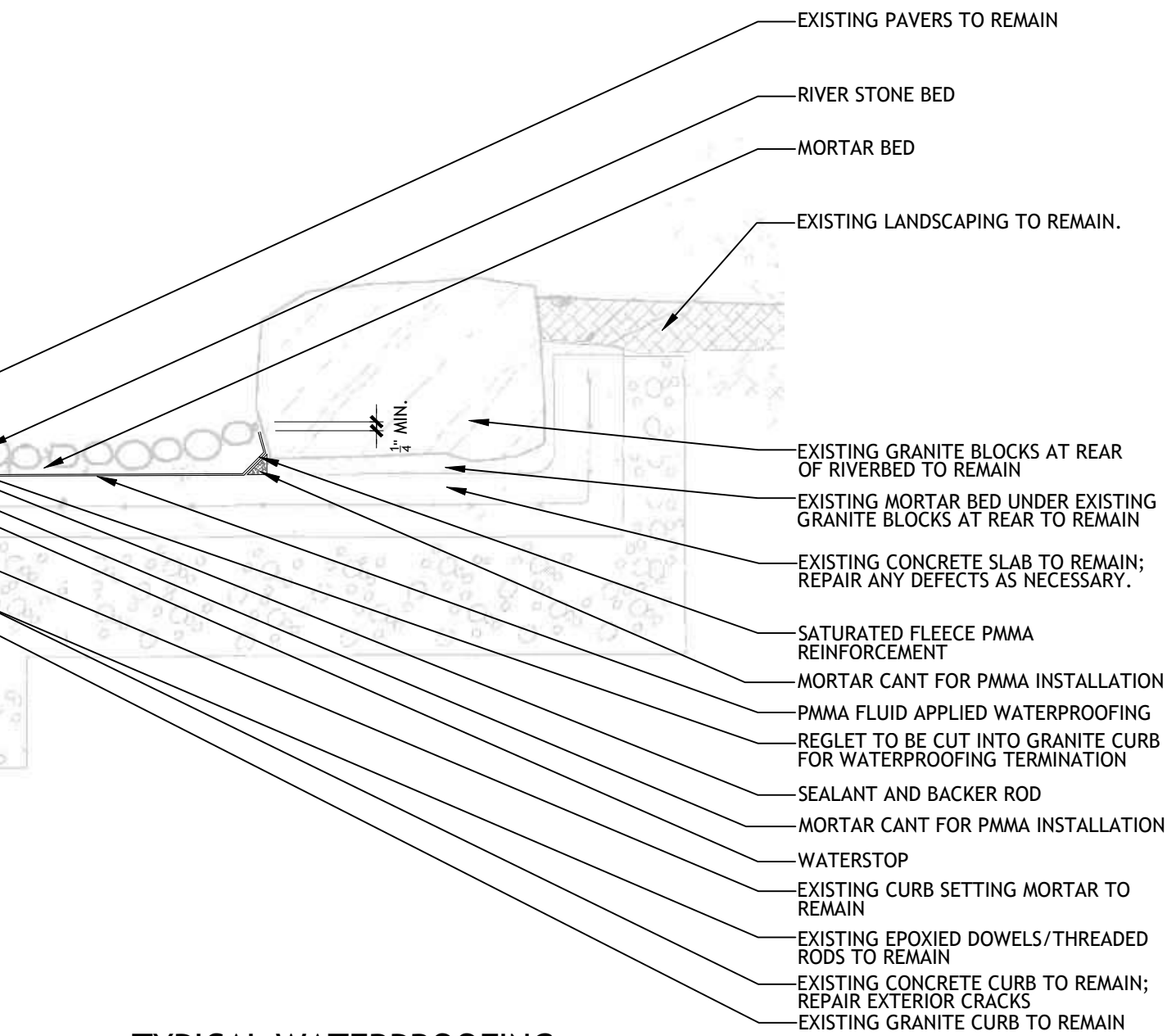
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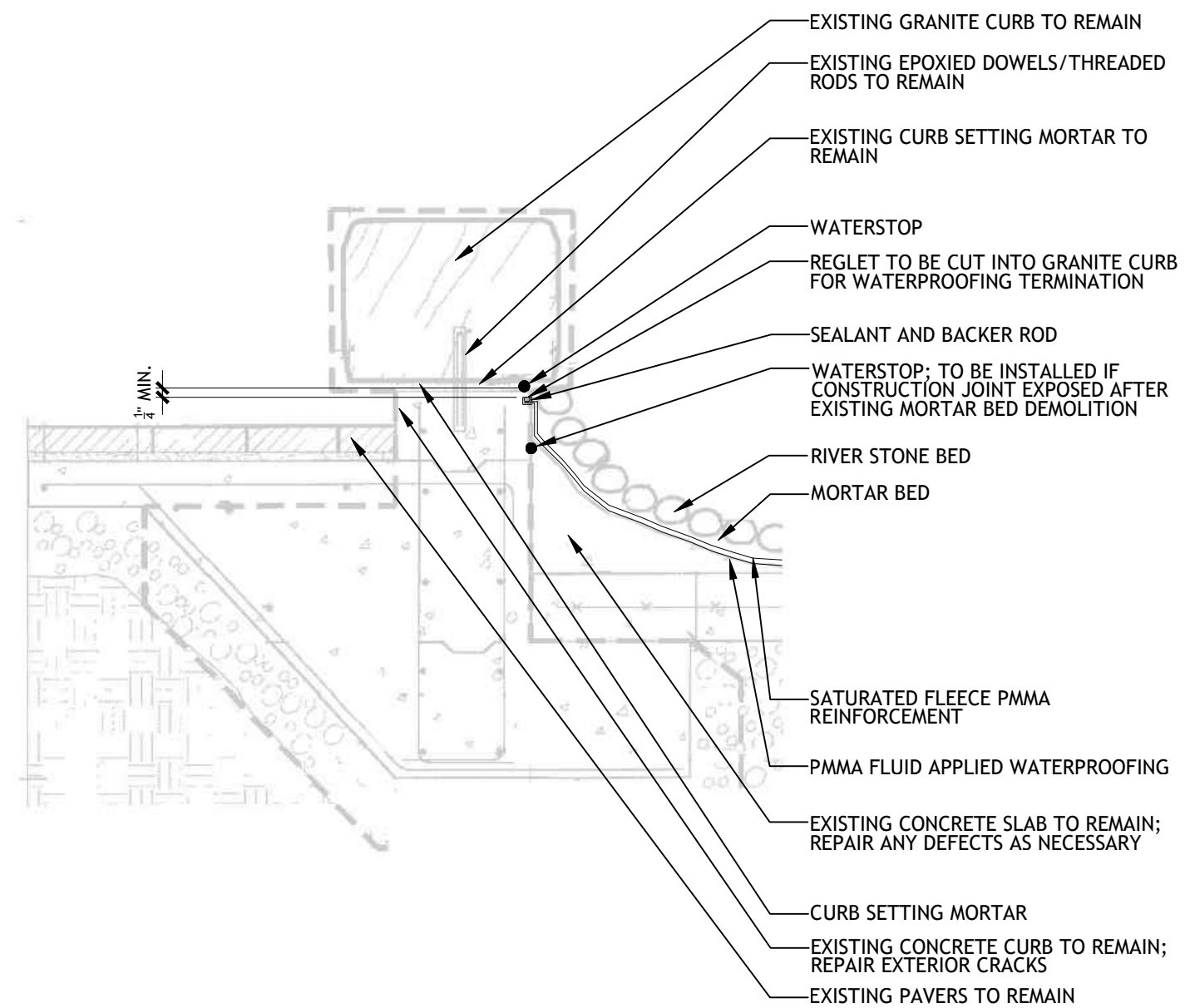
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2024031.01 CHINATOWN FOUNTAIN STREAMBED REPAIR PROJECT- BID DOCUMENTS - SEPTEMBER 27, 2024



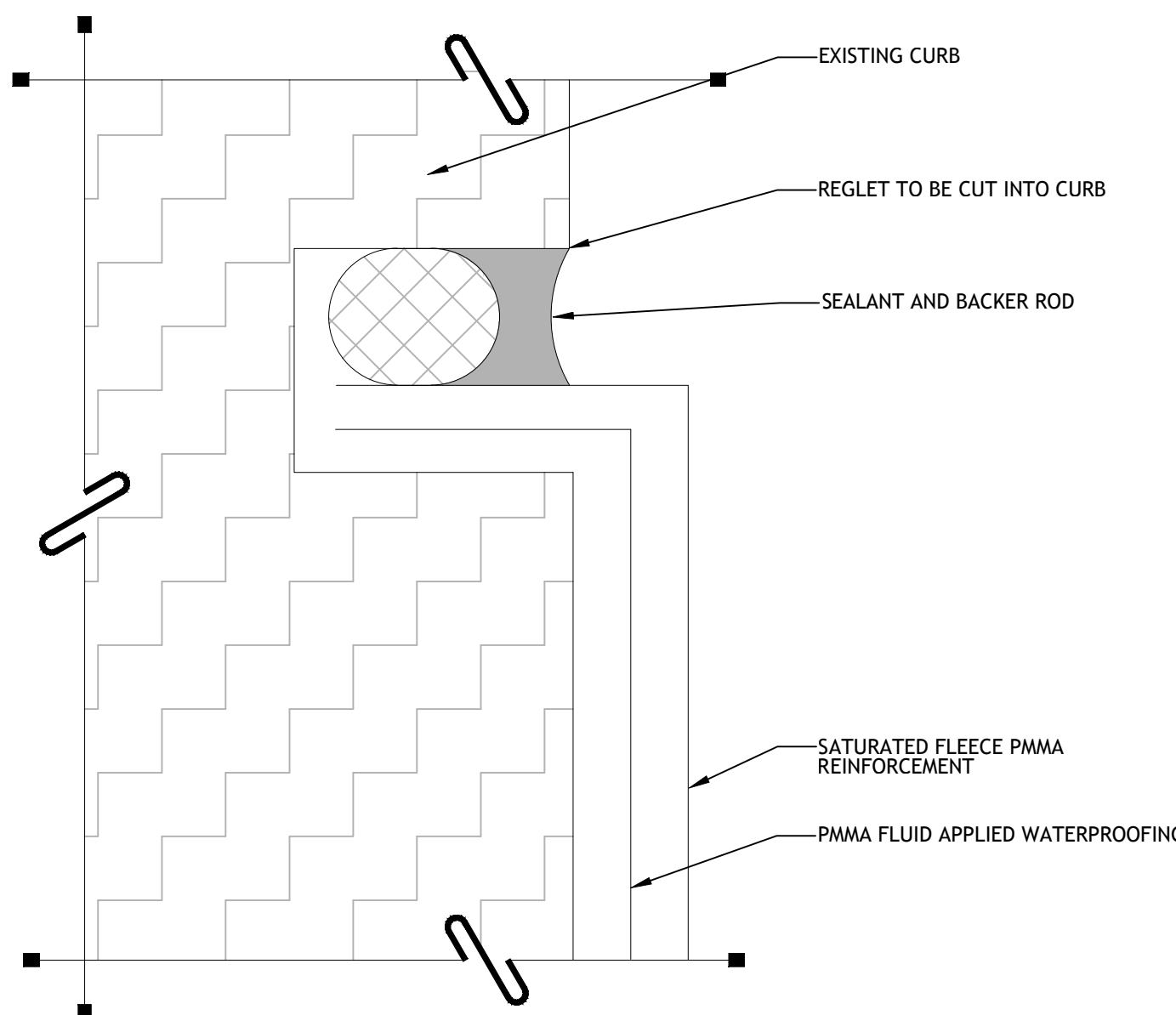
3
TYPICAL WATERPROOFING
WITH STREAM BED ABOVE CURB

SCALE: 3/4" = 1'-0"
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.



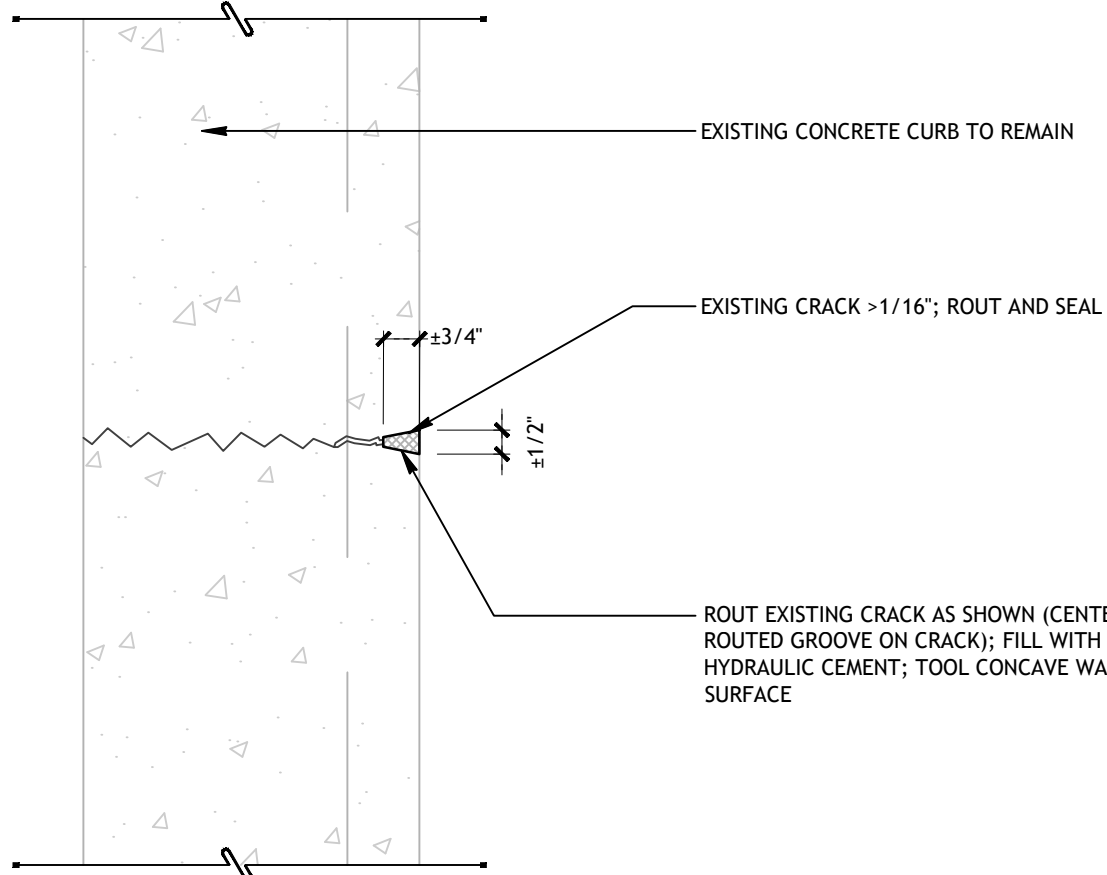
2
TYPICAL WATERPROOFING
WITH STREAM BED BELOW CURB

SCALE: 3/4" = 1'-0"
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.



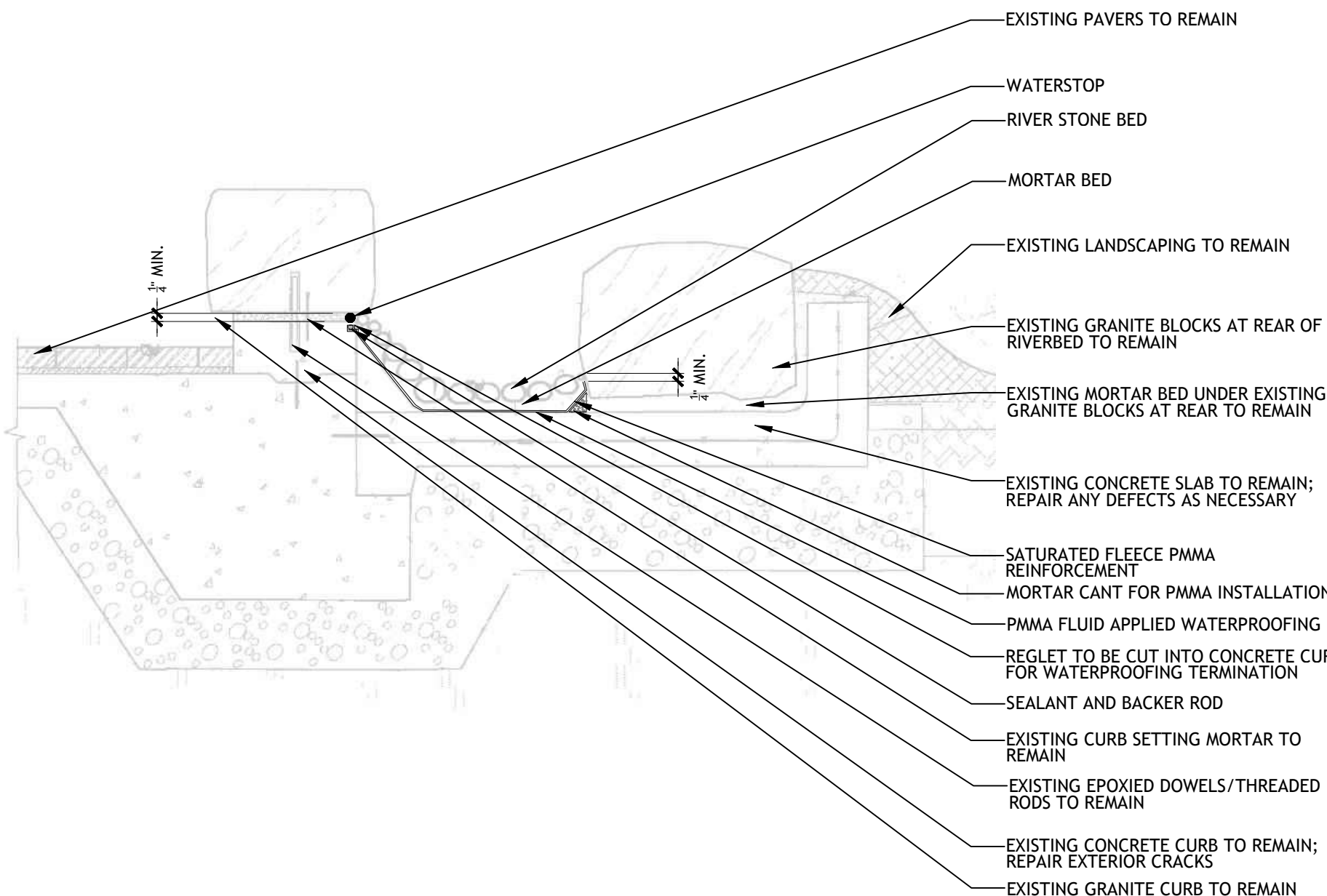
5
TYPICAL REGLET INSTALLATION DETAIL

SCALE: N.T.S.
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.



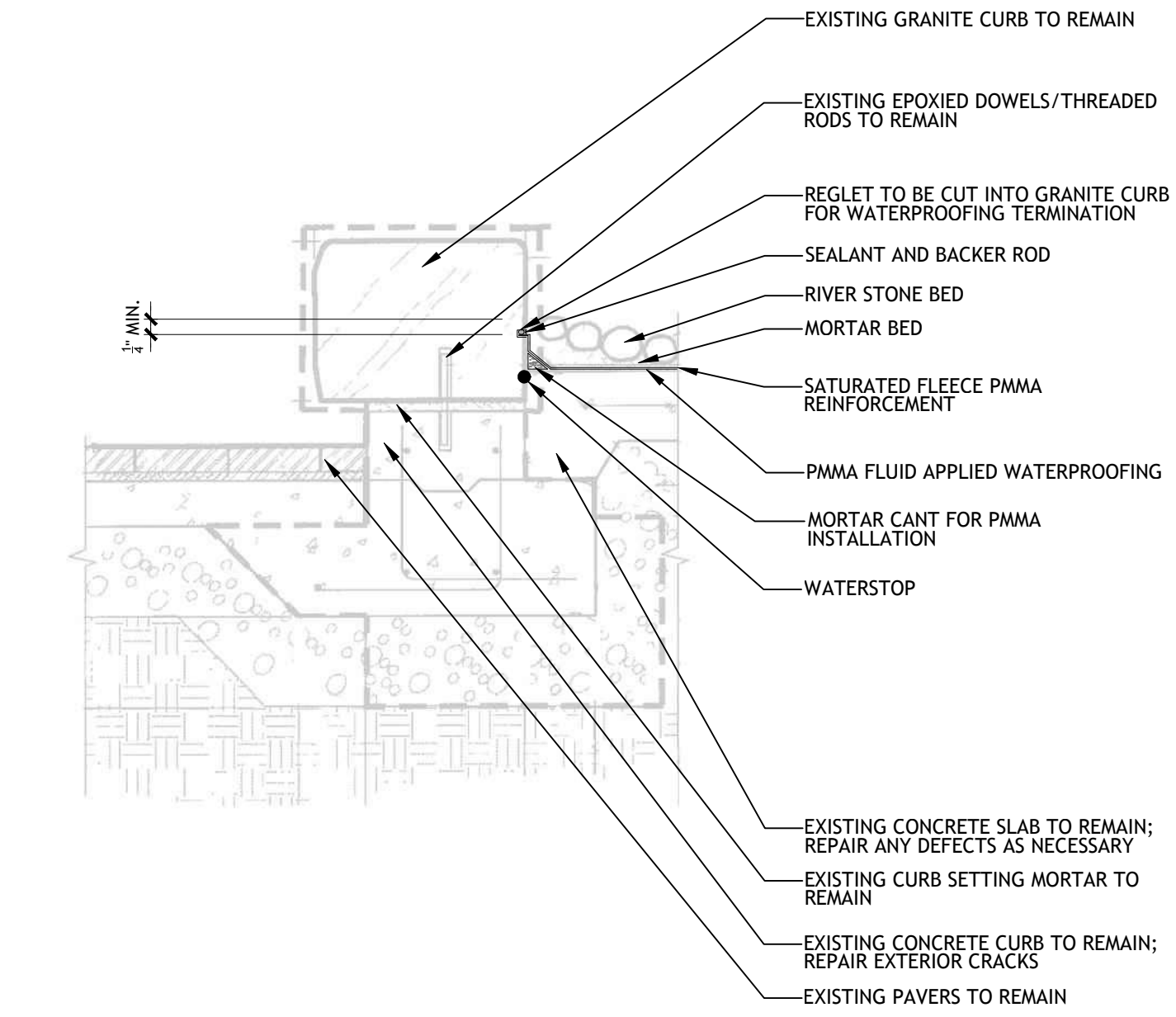
6
ALTERNATE #1 - CRACK REPAIR DETAIL

SCALE: 3" = 1'-0"



4
TYPICAL WATERPROOFING
WITH STREAM BED BELOW CURB

SCALE: 3/4" = 1'-0"
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.



1
TYPICAL WATERPROOFING
WITH STREAM BED ABOVE CURB

SCALE: 3/4" = 1'-0"
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.

KEY PLAN		

REVISIONS		
No.	Description	Date

REMARKS		

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Date:	SEPTEMBER 27, 2024
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Scale:	AS NOTED
Drawn By:	APK
Checked By:	RG
File Name:	A7_0.dwg

DETAILS

A7.0

CHINATOWN FOUNTAIN
STREAMBED
REPAIR
PROJECT

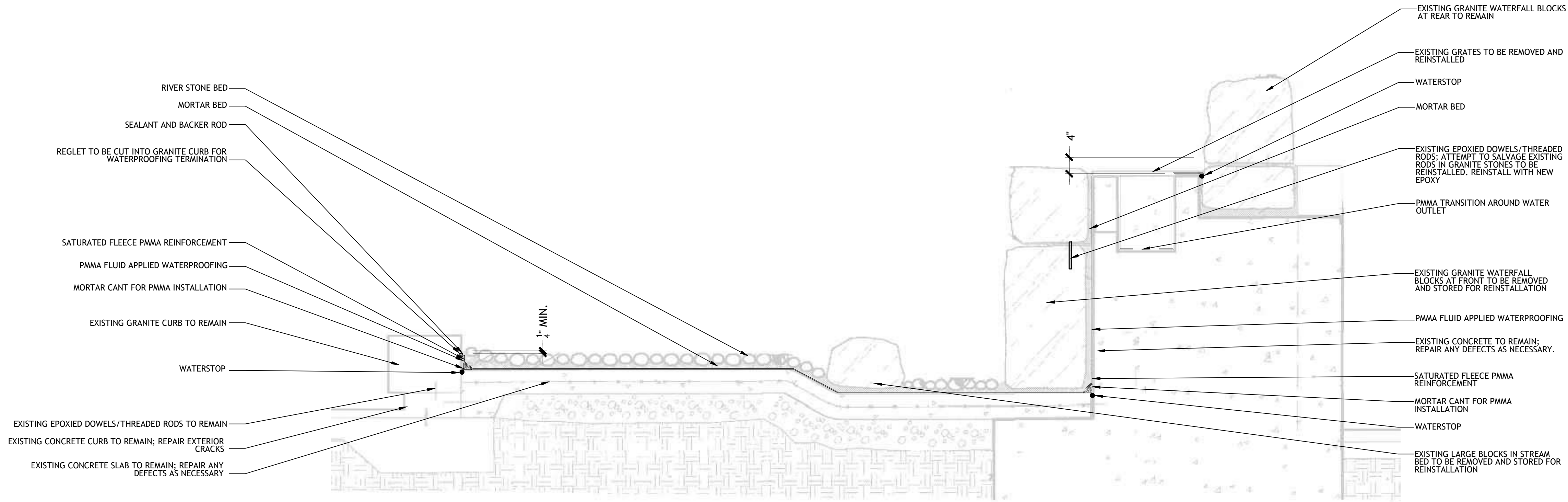
34W LINCOLN STREET
BOSTON, MA 02111

ROSE KENNEDY
GREENWAY
CONSERVANCY

185 KNEELAND STREET
BOSTON, MA 02111

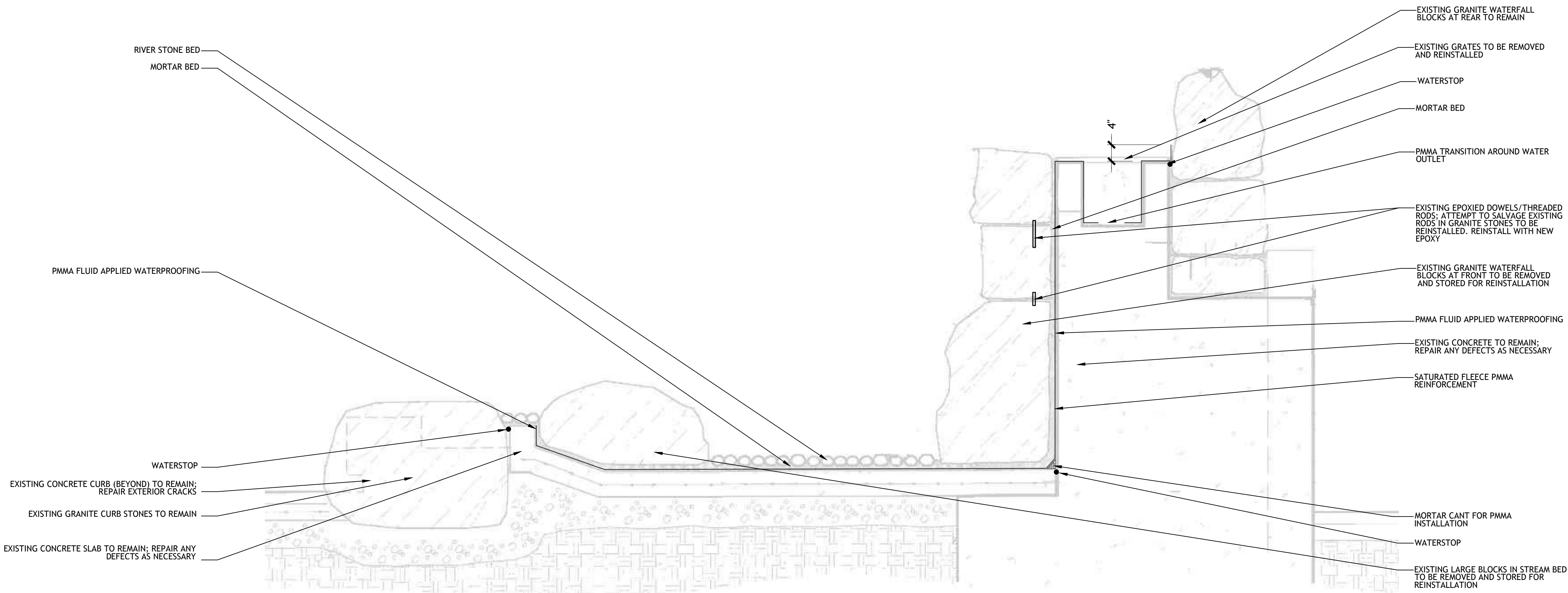
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Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.grlarchitects.com



2 TYPICAL WATERPROOFING
WITH STREAM BED AND WATERFALL

SCALE: 3/4" = 1'-0"
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.



1 TYPICAL WATERPROOFING
WITH STREAM BED AND WATERFALL

SCALE: 3/4" = 1'-0"
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.

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Date: SEPTEMBER 27, 2024
Proj. No.: 2024031.01
Scale: AS NOTED
Drawn By: APK
Checked By: RG
File Name: A7_1.dwg

DETAILS

A7.1

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A7.2

CHINATOWN FOUNTAIN
STREAMBED
REPAIR
PROJECT

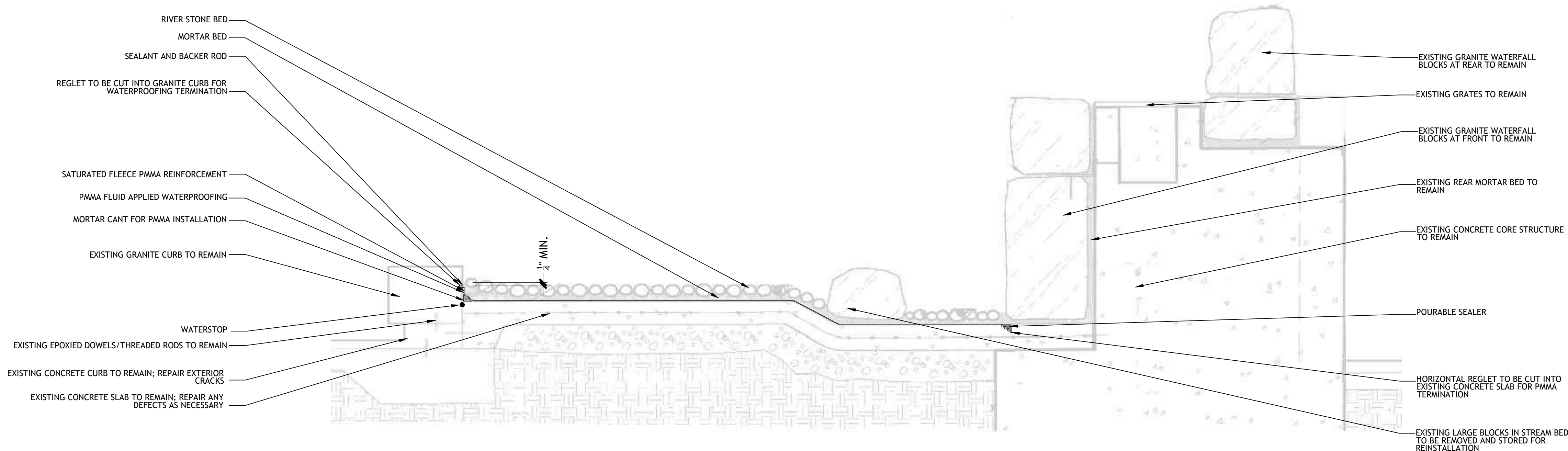
34W LINCOLN STREET
BOSTON, MA 02111

ROSE KENNEDY
GREENWAY
CONSERVANCY

185 KNEELAND STREET
BOSTON, MA 02111

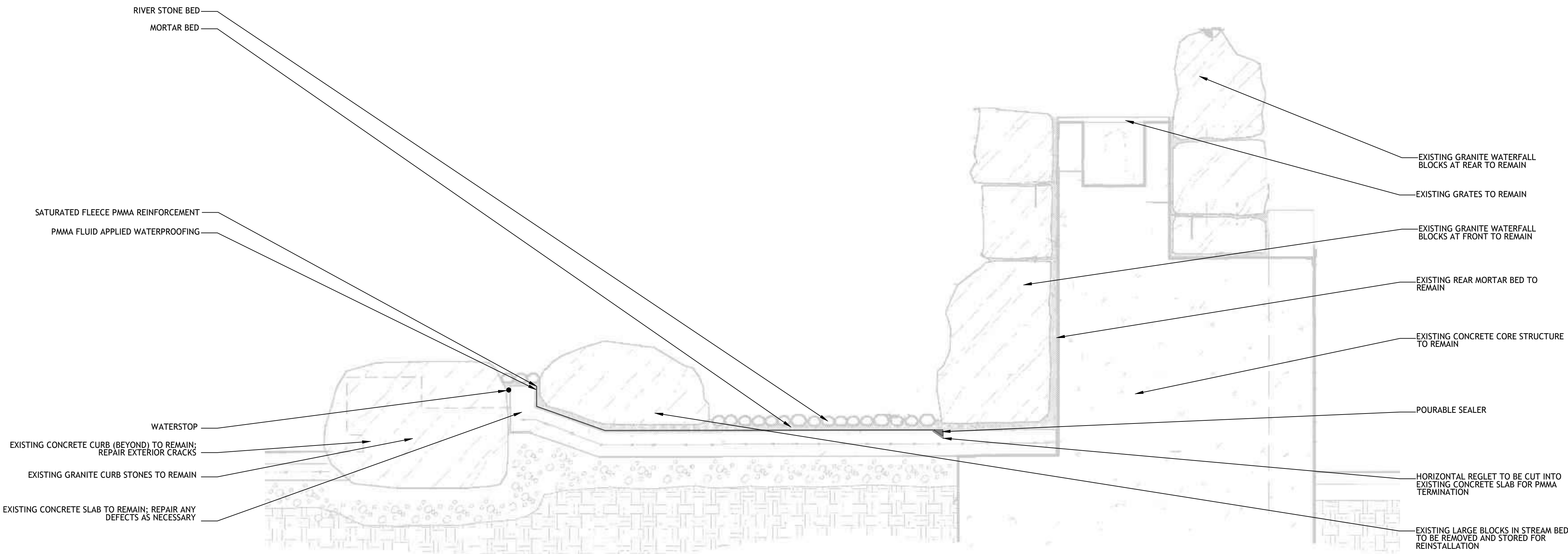
G | R | L | A

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NOTE: THIS ALTERNATE DETAIL IS BEING PROVIDED AS AN OPTION AS REQUESTED BY THE OWNER. THE ARCHITECT AND PMMA MANUFACTURER ARE IN AGREEMENT THAT PMMA INSTALLATION SHOULD BE A CONTINUOUS MONOLITHIC APPLICATION WITH VERTICAL TERMINATIONS. WARRANTY IMPLICATIONS FOR INSTALLING SUCH A DETAIL SHOULD BE PRESENTED UP FRONT WITH THE OWNER, ARCHITECT, AND PMMA MANUFACTURER.

2 ALTERNATE #2 - TYPICAL WATERPROOFING WITH STREAM BED AND WATERFALL
SCALE: 3/4" = 1'-0"
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.



NOTE: THIS ALTERNATE DETAIL IS BEING PROVIDED AS AN OPTION AS REQUESTED BY THE OWNER. THE ARCHITECT AND PMMA MANUFACTURER ARE IN AGREEMENT THAT PMMA INSTALLATION SHOULD BE A CONTINUOUS MONOLITHIC APPLICATION WITH VERTICAL TERMINATIONS. WARRANTY IMPLICATIONS FOR INSTALLING SUCH A DETAIL SHOULD BE PRESENTED UP FRONT WITH THE OWNER, ARCHITECT, AND PMMA MANUFACTURER.

1 ALTERNATE #2 - TYPICAL WATERPROOFING WITH STREAM BED AND WATERFALL
SCALE: 3/4" = 1'-0"
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.

REVISIONS		
No.	Description	Date

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Date:	SEPTEMBER 27, 2024
Proj. No.:	2024031.01
Scale:	AS NOTED
Drawn By:	APK
Checked By:	RG
File Name:	A7_3.dwg

ALTERNATE
DETAILS

A7.3

EXHIBIT C

– See document(s) that follow –

Contractor:

BASE BID					
LINE	ITEM	Quantity	Unit	Unit Price	Total
1	REMOVE AND DISPOSE OF EXISTING RIVER STONES AND MORTAR SETTING BED DOWN TO EXISTING SLOPED CONCRETE RIVER BED.		SF		
2	EXISTING STONE BLOCKS IN RIVERBED TO BE REMOVED AND STORED; REINSTALL AFTER INSTALLATION OF NEW WATERPROOFING SYSTEM AND MORTAR BED WITH EPOXY. OWNER AND ARCHITECT TO CONFIRM FINAL PLACEMENT.		EA.		
3	REMOVE AND STORE EXISTING GRANITE FASCIA WATERFALL STONES; REMOVE STONES BACK TO CONCRETE CORE STRUCTURE CONTAINING EXISTING WATERFALL "WELLS". REINSTALL GRANITE FASCIA WATERFALL STONES AFTER INSTALLATION OF PMMA WATERPROOFING SYSTEM. OWNER AND ARCHITECT TO CONFIRM FINAL PLACEMENT.		EA.		
4	REPAIR ANY AND ALL SPALLS, CRACKS, DEFECTS, ETC., IN EXISTING CONCRETE STRUCTURES TO REMAIN. (ASSUME 5% OF TOTAL SURFACE AREA). INFORM THE ARCHITECT AND OWNER IF ANY SIGNIFICANT DETERIORATION IS ENCOUNTERED DURING DEMOLITION PROCEDURES.		SF		
5	CONTRACTOR TO TEMPORARILY DISCONNECT ELECTRICAL SERVICES FOR RIVERBED LIGHTING. REMOVE AND DISPOSE OF EXISTING INSET RIVERBED LIGHTING; INSTALL AND CONNECT NEW INSET LED LIGHTING PER THE DIRECTION OF THE OWNER.		EA.		

Contractor:

6	NEW PMMA WATERPROOFING SYSTEM TO BE INSTALLED ON EXISTING CONCRETE RIVERBED STRUCTURE, CONCRETE CORE STRUCTURE AT WATERFALL, AND EXISTING WATERFALL WELLS. HORIZONTAL SURFACES TO RECIEVE TYPICAL PMMA SYSTEM; VERTICAL SURFACES TO RECIEVE PPMA FLASHING SYSTEM. NEW REGLETS TO BE CUT INTO EXISTING CONCRETE AND GRANITE CURBS FOR TERMINATION OF NEW WATERPROOFING. COORDINATE WITH ARCHITECT PRIOR TO PERFORMING WORK ON REGLETS. NEW WATERPROOFING SYSTEM TO TERMINATE APPROXIMATELY 1/4" BELOW NEW MORTAR/RIVER STONE SETTING BED. WATERSTOPS TO BE INSTALLED WHERE INDICATED.		SF		
7	INSTALL NEW MORTAR SETTING BED WITH NEW RIVER STONES TO IN-LIKE KIND CONDITION.		SF		
8	CONTRACTOR TO TEMPORARILY DISCONNECT ELECTRICAL AND/OR MECHANICAL SERVICES AS REQUIRED IN ORDER TO PERFORM THE WORK. RECONNECTION TO BE PERFORMED UPON COMPLETION OF THE WORK.		EA.		
SUB-TOTAL					
General Conditions				%	
Permitting				%	
Insurance & Bonding				%	
Mobilization & Demobilization				%	
Staging / Access				%	
Charges & Fees (if applicable)				%	
TOTAL BASE BID					

Contractor:

Note:

All dimensions and quantities should be verified by the Contractor.

The Bid Form is meant to give a general break out of the overall scope and is not absolute. The bidder is required to price all scope outlined in the Bid Documents.

Discrepancies in the Bid Form and Bid Documents shall be brought to the Architect's attention in writing as outlined in the Bid Documents so that the Architect can provide a clarification.

ALTERNATE #1					
LINE	ITEM	Quantity	Unit	Unit Price	Total
1	(ADD) REPAIR CRACKS AT EXTERIOR CONCRETE CURB. REPAIR ANY ANDALL SPALLS, CRACKS, DEFECTS, ETC., IN EXISTING CONCRETE CURB TO REMAIN. ATTACHED GRANITE CURB TO REMAIN.		LF		
SUB-TOTAL					
General Conditions				%	
Permitting				%	
Insurance & Bonding				%	
Mobilization & Demobilization				%	
Staging / Access				%	
Charges & Fees (if applicable)				%	
TOTAL ALTERNATE #1					

Note:

All dimensions and quantities should be verified by the Contractor.

The Bid Form is meant to give a general break out of the overall scope and is not absolute. The bidder is required to price all scope outlined in the Bid Documents.

Discrepancies in the Bid Form and Bid Documents shall be brought to the Architect's attention in writing as outlined in the Bid Documents so that the Architect can provide a clarification.

Contractor:

ALTERNATE #2					
LINE	ITEM	Quantity	Unit	Unit Price	Total
1	(ADD) CUTTING OF A HORIZONTAL REGLET IN EXISTING CONCRETE SLAB IN FRONT OF WATERFALL GRANITE FASCIA. TERMINATION OF PMMA TO OCCUR AT THIS REGLET WITH COMPATIBLE POURABLE SEALER. (DEDUCT) REMOVE AND STORE EXISTING GRANITE FASCIA WATERFALL STONES; REMOVE STONES BACK TO CONCRETE CORE STRUCTURE CONTAINING EXISTING WATERFALL "WELLS". REINSTALL GRANITE FASCIA WATERFALL STONES AFTER INSTALLATION OF PMMA WATERPROOFING SYSTEM. INSTALLATION OF PMMA AT WATERFALL "WELLS" AND VERTICAL CONCRETE CORE STRUCTURE IN CONJUNCTION WITH ASSOCIATED WATERSTOPS AND OTHER ACCESSORIES.		LF		
SUB-TOTAL					
General Conditions				%	
Permitting				%	
Insurance & Bonding				%	
Mobilization & Demobilization				%	
Staging / Access				%	
Charges & Fees (if applicable)				%	
TOTAL ALTERNATE #2					

Note:

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