Rose Kennedy Greenway Conservancy

Chinatown Fountain Streambed Repair Request for Proposals Response Deadline: **November 4, 2024**

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I. DESCRIPTION

The Rose Kennedy Greenway Conservancy (Conservancy) has prepared this Request for Proposal (RFP) for the purpose of soliciting Proposals (Proposal) from interested proposers (Proposer or Proposers) for the repair of the Chinatown fountain streambed on the Rose Kennedy Greenway (The Greenway) in Boston, MA. The Chinatown fountain is an approximately 120' long stream-type water feature fed by three elevated basins. Water fills these three basins, cascades over large granite feature rocks, and is channeled through the stream section of the fountain over riverstone, terminating at a drain that collects the water to be recirculated. Now over 15 years old, the Chinatown fountain is exhibiting material deterioration and requires repair.

The project location is noted in Exhibit A. The scope of remediation shall be as described in Section II. Scope of Work with a target completion date no later than May 2, 2025.

II. SCOPE OF WORK

The scope of work for the repair of the Chinatown fountain is as described in Exhibit B, Exhibit C, and herein (Section II. Scope of Work) including but not limited to: Demolition of the existing streambed riverstone and setting bed, repairs as needed to the streambed concrete slab, installing new waterproofing and riverstone, replacing stream uplights, and removing granite stones as needed to complete work. The Contractor shall be responsible for securing all necessary permits to complete work and shall participate in construction meetings with the Conservancy including but not limited to the milestones set out below, and as reasonably requested by the Conservancy:

- Pre-construction meeting
- Submittal review
- Weekly construction meetings (hosted by the Contractor)
- Punchlist walkthrough
- Final walkthrough

As The Greenway is an active urban park space, the Contractor may be required to coordinate with the Conservancy as it relates to the repair of the Chinatown fountain and its effect on horticulture, planned events, etc.

III. RFP ESTIMATED SCHEDULE

Phase	Date
RFP released	October 4, 2024
Site visit	October 17, 2024 @ 9am
Any questions due via email	October 21, 2024 @ 5pm
Answers to RFP questions posted on The Greenway's website	October 28, 2024 @ 5pm
Deadline for Proposals	November 4, 2024 @ 5pm
Proposer team interviews	Nov 18, 2024 - Dec 6, 2024
Proposer team selected	By December 16, 2024
Contract executed	By January 6, 2025

^{*}For the site visit, please RSVP via email to rtzen@rosekennedygreenway.org. We will meet in Chinatown Park under the traditional gate over Beach Street on **Thursday, October 17, 2024 at 9am**, weather dependent.

IV. PROPOSAL REQUIREMENTS

4.1 WRITTEN PROPOSAL

A. Experience:

Provide examples of comparable projects, including location and description of scope. Summarize critical challenges faced and subsequent outcomes.

B. Staff and Qualifications:

Provide a description of the team including but not limited to the project manager, key staff, and subcontractors. Include descriptions of role, responsibilities, qualifications, and involvement in comparable projects.

C. References:

Provide contact information for three references of clients and/or organizations with comparable contracts that can attest to your abilities. References should have firsthand work experience with your company within the past 5 years.

4.2 FEE PROPOSAL

Please provide an itemized cost proposal that meets the scope as outlined above utilizing *Exhibit C: Chinatown Fountain Streambed Repair Bid Form (Dated 09-27-2024).*

4.3 CONSTRUCTION SCHEDULE

Please provide an Itemized construction schedule that includes a GANTT chart, or similar, and that meets the scope of work as described in Section II. Proposers may provide additional documents to clarify the proposed construction schedule.

The target completion date for the Chinatown fountain streambed repair project is no later than May 2, 2025.

4.4 INSURANCE

The following insurance requirements represent the minimum required insurance coverages and limits that the Contractor will need to provide, as further detailed in the contract. It is understood that these limits will not limit the liability of the Contractor.

A. Workers Compensation

Contractor shall maintain the following workers compensation limits:

Coverage A Workers Compensation: Statutory as Required by Massachusetts Law Coverage B Employers Liability:

- bodily injury by accident \$500,000 each accident
- bodily injury by disease \$500,000 each employee
- bodily injury by disease \$500,000 policy limit

B. Property

Contractor must secure property insurance on an all risk basis, subject to full replacement cost for all property used in conjunction with Contractor's operations with the Conservancy. Such insurance should contain a waiver of subrogation stating Contractor waives all rights of subrogation against the Conservancy for loss to Contractor's property. It is agreed that the Conservancy is not responsible for any loss whatsoever to Contractor's property.

C. Automobile Liability

Contractor shall maintain the following minimum limits of automobile liability insurance:

• \$1,000,000 per accident, bodily injury and property damage combined Coverage must include non-owned and hired liability.

D. General Liability

Contractor shall maintain the following minimum limits of general liability insurance:

- \$1,000,000 per occurrence for bodily injury and property damage
- \$5,000 medical expense
- \$1,000,000 personal injury
- \$2,000,000 general aggregate
- \$1,000,000 products / completed operations

Coverage must be equivalent to the most recent edition of ISO Form CG 01 01. Coverage must be provided on a first dollar basis without a deductible. General liability policies subject to a deductible will need to be approved by the Conservancy.

E. Umbrella

Contractor shall maintain the following umbrella limits:

- \$5,000,000 per occurrence
- \$5,000,000 aggregate

Self Insured Retention: Not to exceed \$10,000.

Coverage should be equivalent or broader than the coverage afforded on the underlying general liability, automobile liability and employers liability grant within the workers compensation policy.

F. Other requirements

Certificates of Insurance evidencing the above required coverages must be provided to the Conservancy at the execution of contract. Certificates of Insurance must be provided naming the following entities as Certificate Holders:

- Rose Fitzgerald Kennedy Greenway Conservancy, Inc.; 185 Kneeland St.; Boston, MA 02111
- City of Boston; One City Hall Square; Boston, MA 02201
- Massachusetts Department of Transportation; 10 Park Plaza, Suite 3170; Boston, MA 02116

Insurance Carriers must be authorized to write business in the Commonwealth of Massachusetts and have a minimum AM Best Rating of A- VII. Certificates must specify the current AM Best Rating of each insurance carrier providing insurance to Contractor.

Certificates must also specifically state the above entities are named as additional insureds on the general liability, automobile liability, and umbrella liability policies. The certificate must also state that the coverage is being afforded to the additional insured on a primary and non-contributory basis.

All policies required must include a waiver of subrogation, waiving all of Contractor's rights against the Conservancy, The City of Boston, and the Massachusetts Department of Transportation. Certificate must note the same. The workers compensation policy must be specifically endorsed as such.

The certificate should indicate that 30 days' notice of cancellation or nonrenewal to each certificate holder will be provided. Any "endeavor to provide notice" should be deleted. The policies must be specifically endorsed to provide notice to the certificate holders.

Failure to provide property and casualty insurance certificates meeting the requirements detailed herein could result in revocation of acceptance and denial of access to The Greenway.

All insurance required must be maintained throughout the duration of the contract. If at any time during the Term of Contractor's contract with the Conservancy evidence of current insurance is not on file with the Conservancy, then Contractor's right to occupy its designated Location(s) and provide Services will be suspended until Contractor provides the Conservancy with acceptable evidence of the required insurance.

4.5 SUBMISSION DEADLINE

RFP submittals must be submitted electronically by **November 4, 2024 by 5:00 pm.** All materials must be emailed as attachments (no more than 25MB in total file size) to:

rtzen@rosekennedygreenway.org with **"Chinatown fountain streambed repair"** as the subject line.

V. EVALUATION PROCESS

The Conservancy will evaluate all Proposals in accordance with the provisions of this RFP, based on the criteria described below. In its evaluation, the Conservancy may consider all information contained in each Proposer's Proposal and any other information obtained by the Conservancy.

The Conservancy will award the contract in accordance with the "CONTRACT AWARD" section below. Before the contract is awarded the Conservancy may first conduct interviews with selected Proposers. The purpose of the interviews will be to clarify and assure understanding of the contents of the Proposal, as well as the requirements of the RFP and the potential Contract, discuss with selected Proposers deficiencies or uncertainties in their Proposal, discuss cost and fee information, and discuss any other matters relevant to such Proposal. No statements made or actions taken by any representative of the Conservancy during such discussions shall be binding on the Conservancy. If requested by the Conservancy, some or all of the key personnel identified in the Proposer's Proposal will be required to participate in the discussions or to be available for an interview with Conservancy representatives.

5.1 EVALUATION CRITERIA; BEST AND FINAL OFFER

The criteria listed below will be applied to evaluate the Proposals.

A. Best Value

The Conservancy shall select the Contractor, based on the Conservancy's assessment, in its sole discretion, of which Proposal represents the Best Value to the Conservancy. For purposes of this RFP, "Best Value" shall be deemed to mean the Proposal, which best balances and supports the following objectives: quality of work, economic value, timely performance, minimal administrative burden, prior experience, and the continuing participation of quality Contractors.

B. Best and Final Offer

At any time after submission of Proposals and prior to the final selection of a contractor for this project, the Conservancy shall have the option to provide Proposers with an opportunity to provide a "best and final offer" and may limit the number of Contractors selected for this option.

5.2 CONTRACT AWARD

The Conservancy reserves the right to reject any and all Proposals if it determines that such action is in the best interest of the Conservancy.

This RFP is not binding on the Conservancy. The Conservancy assumes no responsibility for the costs incurred in the preparation of a Proposal or related activities. This RFP and attached Exhibits have been prepared solely to solicit Proposals, and are not contract offers. The only documents that will be binding on the Conservancy are the contract duly executed by the Conservancy and the Contractor.

Proposals shall be considered a firm offer and shall remain effective unconditionally for a minimum of 1 year.

5.3 BOARD APPROVAL

In all cases, the award of the contract shall be subject to the approval of the Members of the Board of Directors of the Conservancy.

VI. TERMS AND CONDITIONS

6.1 AMENDMENTS

The Conservancy may, at any time prior to the execution of a definitive contract, and without penalty, amend this RFP or change the requirements, scope, budget or procurement schedule upon notice to Proposers. Any amendment shall be issued by means of written addendum. Any and all addenda so issued shall become part of the RFP.

6.2 PROCUREMENT CANCELLATION

The Conservancy may for any reason, and at any time prior to the execution of a definitive contract, and without penalty, notify Proposers of a cancellation of this procurement process and the rejection of all Proposals.

6.3 CORRECTIONS TO A SUBMITTED PROPOSAL

The Executive Director of the Conservancy shall determine whether to allow the correction of errors or omissions in a Proposal.

6.4 REFERENCES

The Conservancy shall have the right to request references, in addition to any references or examples of past projects specified in the RFP, at any time during the procurement process and at any time during the period of contract performance. The Conservancy may verify any references included in a Proposal and conduct any other reference or credit checks as it deems appropriate. The Conservancy may consider any written references, including documentation of performance records of a Proposer on file at the Conservancy or solicited from any other entity, documentation of reference checks or other documentation solicited by or submitted to the Conservancy during the procurement process.

6.5 DISQUALIFICATION

- A. The Conservancy may disqualify any Proposal that it determines in its sole discretion to be unresponsive, including, but not limited to:
 - a. Proposals which are received after the deadline for submission specified in an RFP.
 - b. Proposals that fail to meet, address or comply with material requirements in an RFP, including instructions for submission, content or format.
 - c. Proposals which indicate collusion or unfair trade practices by one or more Proposers agreeing to act in a manner intended to avoid or frustrate the process described herein or any law or regulation.
 - d. Proposals submitted by a Proposer, or which identify a subcontractor, currently listed on the Conservancy's "Non-Qualified Contractor" list.
 - e. Proposals submitted by a Proposer which have an actual or potential conflict of interest, as determined by the Conservancy's Audit and Risk Management Committee, based on the information disclosed on the Proposal or on any other credible information regarding the Proposer, obtained from any reference or other source.
- B. The failure of the Conservancy to immediately reject a Proposer whose Proposal is otherwise non-responsive or unacceptable shall not preclude the Conservancy from subsequently rejecting such Proposal.
- C. In addition to the foregoing, a selected Proposer's Proposal shall be disqualified if the Conservancy in its sole discretion determines that the Proposer:
 - a. is intentionally or unreasonably delaying the timely execution of a definitive agreement;
 - b. negotiates in bad faith;
 - c. refuses to execute a definitive agreement; or
 - d. is unable to reach final agreement on contractual terms with the Conservancy within a reasonable time as determined by the Conservancy.

D. If a selected Proposer's Proposal is disqualified for any reason, the Conservancy may (but shall not be required to) negotiate a contract with the next Best Value qualified Proposer.

6.6 PRESS CONFERENCE, NEWS RELEASE RESTRICTIONS; PUBLIC RECORDS LAW

No Proposer shall make any news release or announcement, or hold any press conference, concerning its selection or non-selection for a contract prior to the Conservancy's public release of said information. The Conservancy is subject to the Massachusetts Public Records Law (M.G.L. ch. 66, Sec. 10), and will comply with any requests for information regarding this procurement process to the extent required by law.

6.7 CONTRACT AND AMENDMENT NEGOTIATION

The Conservancy may negotiate with the selected Proposer prior to execution of a contract, and with the Contractor after a Contract has been executed, with respect to cost, scope, or any other term of aspect of the work that is the subject of this RFP.

EXHIBIT A

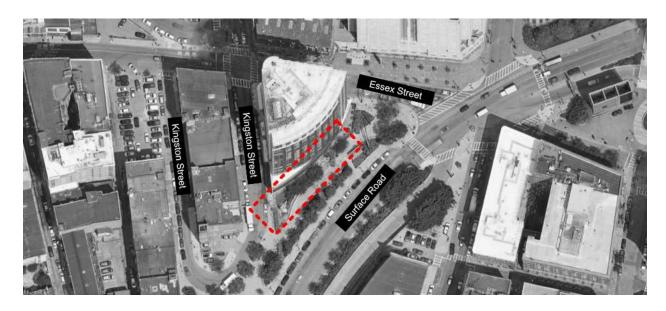
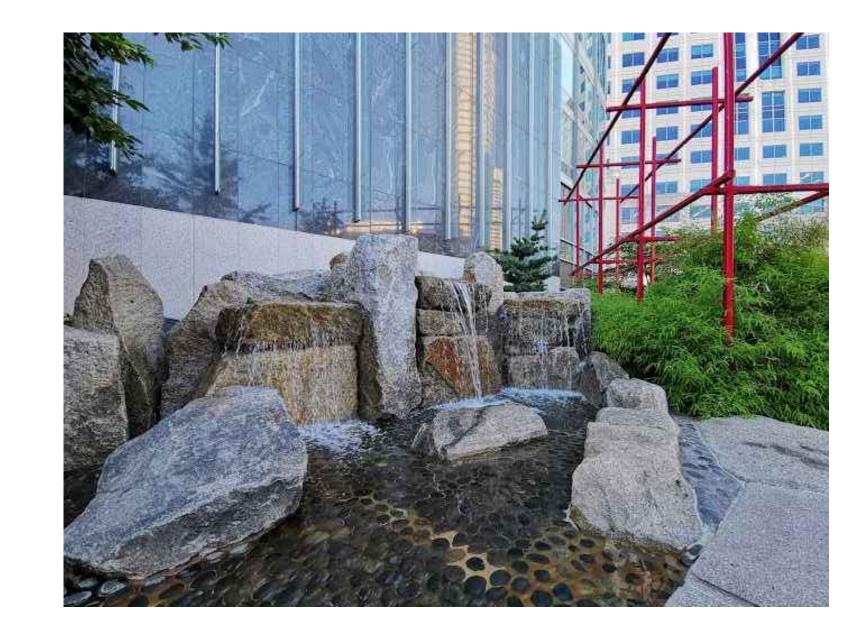


EXHIBIT B

- See document(s) that follow -



CHINATOWN FOUNTAIN STREAMBED REPAIR

34W LINCOLN STREET, BOSTON, MA 02111

BID DOCUMENTS
SEPTEMBER 27, 2024

GRLA PROJECT NUMBER: 2024031.01

CLIENT:

ROSE KENNEDY GREENWAY CONSERVANCY
185 KNEELAND STREET
BOSTON, MA 02111

GORMAN RICHARDSON LEWIS ARCHITECTS

239 SOUTH STREET HOPKINTON, MA 01748 www.grlarchitects.com

DRAWING INDEX

| DATE ISSUED | SUBJECT | SUBJE

G|R|L|A

Gorman Richardson Lewis Architects 239 South Street Hopkinton, MA 01748 www.grlarchitects.com Project Name and Directory of Participants

This Section summarizes the requirements of the Work and the requirements for the Contractor's submittal of bids for the Chinatown Fountain Streambed Remediation Project.

Project Name:

Chinatown Fountain Streambed Remediation 34W Lincoln Street Boston, MA 02111

Owner is Represented by:

Owner's Architect:

Gorman Richardson Lewis Architects, Inc. 239 South Street Hopkinton, MA 01748 Contact: Robert Gutmann Phone: 508-544-2726 Email: rgutmann@grlarchitects.com

- The Contractor shall provide the necessary labor, materials, staging access, equipment, and resources to execute the scope as described in the documents. The Contractor shall obtain and pay for all necessary permits, fees and approvals associated with the Work.
- These Specifications, Agreement referenced, Drawings as listed below, changes made per recognized procedures, and attachments and/or exhibits identified by the Owner and/or Contractor as necessary and/or Architect shall make up the entire and integrated Agreement between the Owner and the
- The Owner reserves the right to cancel or delay the project at any time without cause. This includes the right to cancel or delay the project during the bid period, during contract negotiations and execution or during the Work. If the project is canceled or delayed after execution of the Owner-Contractor Agreement, the Contractor shall be compensated only for the portions of the Work performed.
- The Chinatown Fountain is a highly trafficked public area. The Contractor is to supply adequate barricades, fencing, etc. to prevent unauthorized access to the work and laydown

Summary of the Work

The Work is as specified within these Specifications and as illustrated on the Drawings. The Drawings include:

- G0.0 COVER SHEET
- GO. 1 GENERAL NOTES & SPECIFICATIONS
- GO.2 GENERAL NOTES & SPECIFICATIONS G1.0 SITE PLAN
- A1.0 EXISTING FOUNTAIN & RIVER BED PLAN
- A7.0 DETAILS
- A7.1 DETAILS A7.2 DETAILS
- A7.3 ALTERNATE DETAILS
- In summary, the <u>Base Scope</u> of Work includes the following: The Contractor shall provide all necessary labor, materials, staging and equipment to perform the Work where indicated on the Drawings.
- Remove and dispose of existing river stones and mortar setting bed down to existing sloped concrete river bed.
- Existing stone blocks in riverbed to be removed and stored; reinstall after installation of new waterproofing system and mortar bed with epoxy. Owner and Architect to confirm final placement.
- Remove and store existing granite fascia waterfall stones; remove stones back to concrete core structure containing existing waterfall "wells". Reinstall granite fascia waterfall stones after installation of PMMA waterproofing system. Owner and Architect to confirm final placement.
- Repair any and all spalls, cracks, defects, etc., in existing concrete structures to remain. Inform the Architect and Owner if any significant deterioration is encountered during demolition procedures.
- Contractor to temporarily disconnect electrical services for riverbed lighting. Remove and dispose of existing inset riverbed lighting; install and connect new inset LED lighting per the direction of the owner.
- New PMMA waterproofing system to be installed on existing concrete riverbed structure, concrete core structure at waterfall, and existing waterfall wells. Horizontal surfaces to receive typical PMMA system; Vertical surfaces to receive PMMA flashing system. New reglets to be cut into existing concrete and granite curbs where required for termination of new waterproofing. New waterproofing system to terminate 1/4" minimum below new mortar/river stone setting bed. Waterstops to be installed where indicated.
- Install new mortar setting bed with new river stones to in-like kind condition.
- Temporary disconnection, extension, and reconnection of existing mechanical, electrical, and plumbing components in order to perform the work.

Alternates

- (ADD) Repair existing cracks at exterior concrete curb. Repair any and all spalls, cracks, defects, etc., in existing concrete curb to remain. Granite curb to
- (ADD) Cutting of a horizontal reglet in existing concrete slab in front of waterfall granite fascia. Termination of PMMA to occur at this reglet with

compatible pourable sealer. (DEDUCT) Remove and D. store existing granite fascia waterfall stones; remove stones back to concrete core structure containing existing waterfall "wells". Reinstall granite fascia waterfall stones after installation of PMMA waterproofing system. Installation of PMMA at waterfall "wells" and vertical concrete core structure in conjunction with associated waterstops and other accessories.

Bid Requirements

- Qualified Contractors shall meet the requirements herein for the submission of bids. Acceptable bids include the use of the form or forms provided and include related items requested to be submitted.
- Qualified Contractors are those who have been engaged in providing similar and comparable services to those specified herein. The Contractor shall have a minimum of five (5) years of experience in the design, fabrication, and installation of such systems. Subcontractors shall also have a minimum of five (5) years of experience in their related trade.
- Qualified Contractors to provide three (3) to five (5) current examples of comparable projects, including location and description of scope. Summarize critical challenges faced and successful outcomes.
- Qualified Contractors to provide a description of the team including but not limited to project manager, key staff, subcontractors. Include descriptions of roles, responsibilities, qualifications, and involvement in comparable projects.
- Qualified Contractors to provide contact information for three (3) references of clients and/or organizations with comparable contracts that can attest to abilities. References should have first-hand work experience with your company within the past five (5) years.
- F. The following shall be included within the bid to be D. acceptable: Completed Bid Form and requested unit prices.
 - Schedule of Values meeting the requirements herein.
 - Contractor's proposed schedule for the work including sequences around the site.
 - Proof of bonding and insurance. List of proposed Subcontractors and their
 - qualifications.
 - Proposed systems and materials. Safety and logistics plan for the Contractor's and

Sub-Contractors use of the site.

Submit completed bids by November 4, 2025, by 5:00pm EST.

Rex Tzen - Capital Projects Manager Rose Kennedy Greenway Conservancy 185 Kneeland Street Boston, MA 02111 Phone: 617-603-7730 Email: rtzen@rosekennedygreenway.org

and

Gorman Richardson Lewis Architects, Inc. 239 South Street Hopkinton, MA 01748 Contact: Robert Gutmann Phone: 508-544-2726 Email: rgutmann@grlarchitects.com

- E-mail bids are acceptable provided they are submitted on a non-executable file such as a PDF document and all required information and documents are included. Gorman Richardson Lewis Architects takes no liability or responsibility for bids not submitted on time or bids transmitted via e-mail that did not arrive on time.
- The Contractor shall hold his or her bid for 90 days from the date completed bids are submitted, noted above, while the Owner reviews the received bids and awards the project.
- Proposals shall be considered a firm offer and shall remain effective unconditionally for a minimum of one (1) year.

Schedule of Values and Schedule

- With the completed pricing, the Contractor shall include a completed Schedule of Values using a professional society form such as provided by the American Institute of Architects (AIA). The Schedule of Values shall be used by the Owner and/or Architect for evaluation; and during the construction for assessment of the Contractor's Applications for Payment.
- The Schedule of Values shall include the following
 - 1. Line item(s) for all trades including a breakdown for materials and labor.
 - Line item for General Conditions.
 - Line item for Insurance and Bonding. Line item for Mobilization and Demobilization.
 - Line item for Staging and/or Access.
 - Line item for Disposal and/or Cleanup.
 - Line item for applicable Charges and Fees.
- Line item for the Contract.
- The Project Schedule shall be provided with the submitted
- bid and include start and end dates and the durations of the critical path tasks, functions and/or segments of the Work. The schedule shall also include information on the areas of the site, or grounds to be closed-off or have limited access during the course of the Work.
- 1. The Contractor is welcome to start demolition work in early Winter of 2025. Any products requiring temperature sensitive installation to be deferred until Winter conditions have lifted.
- 2. The Owner has requested that work be completed by May 2, 2025.

Contract Time:

- The Contractor shall achieve Substantial Completion of the entire Work not later than fourteen (14) days
- prior to May 2, 2025. The Contractor shall achieve Final Completion within fourteen (14) days after Substantial Completion of the entire Work.

Documents and Contracts

- A. In total, documents making up and supporting the Owner-Contractor Agreement shall be referred to as the Contract Documents and shall include:
 - AIA Owner-Contractor Agreement Form.
 - The written Specifications on Drawings.
 - The Drawings as referenced herein. Documents referenced within any of the named
 - Contract Documents Any and all addenda and bulletins issued.
- Changes made via change order during the course of the Work.
- Other documents deemed necessary by the Owner and/or the Contractor.
- These Drawings are prepared as a guide to the Contractor and may not indicate all work required. The Contractor will coordinate the full project scope with the Owner and the
- Owner-Contractor Agreement: The Owner seeks to enter into an agreement (Agreement) with a select Contractor upon agreed to scope and fee. The Contractor shall enter into an Agreement with the Owner using AIA Form A104, Standard Form of Agreement Between Owner and Contractor for a Project of Limited Scope. The Owner reserves the right to add to, delete, or modify the Contract requirements at any time during the bid period or after Owner-Contractor Agreement execution in accordance with the terms of the
- Changes: From time-to-time during the course of the Work, changes may be needed to the Contract sum or the Contract time. If required, changes shall be accomplished using AIA Form G701, Change Order. When a potential change is needed, the Contractor shall submit the completed Change Order as a Proposal with supporting backup information that includes labor, material and other breakdowns as needed. The Owner's Architect will review and act, and then forward to the Owner for final action.
- In the absence of Agreement of the needed change, the Architect retains the right to direct change, after Owner's consent, using AIA Form G703, Construction Change Directive, with the understanding that the adjustment in the Contract sum and/or time will be negotiated at a later date; but, the Work shall
- E. Payments to the Contractor: Payments shall be made to the Contractor monthly or on other agreed to interval using AIA Form G702, Application and Certification for Payment. At the end of each month, or agreed to date, the Contractor shall submit to the Architect the application for review and action. If signed, the Owner shall make payment within thirty (30) days of the date or within other agreed to timeframe.
 - With the Contractor's bid submittal, a Schedule of Values shall be included that itemizes each and every item including mobilization, general conditions, contingency, overhead and profit, staging and scaffolding, dumpsters and hauling, and trades that will further break down into labor and material
 - The Architect's signature on the Application for Payment is a certification that to the best of the Architect's information and belief, the amount certified is warranted; however, the Architect's signature is not an approval.
 - Each Application for Payment will include ten (10%) percent retainage to be paid back to the Contractor at the time of final payment.
- Submittals: Upon signing of the Contract, for all specified products submit manufacturer's product data, installation and application instructions, shop drawings and test data. Shop drawings shall include all related details to show all interface conditions, flashing configurations, and related tieins to the fountain and stream bed. Submittals shall include the following:
- For each specified product, provide manufacturer's product data.
- For each specified product, provide manufacturer's installation instructions.
- For each specified product, provide manufacturer's test reports
- Provide shop drawings consisting of each typical and atypical detail, including all metal flashing details. Include field-verified dimensions, attachment methods, metal weights, and fastener spacings.

G. Submittal Schedule:

- The Contractor shall submit a schedule of submittals to the Architect and the Owner within ten (10) business days of direction to proceed.
 - 1.1. The schedule of submittals shall consist of a single spreadsheet for product data, shop drawings, samples and other required submittals.
 - 1.2. For each submittal, show the proposed date of submission, and the proposed date for return of reviewed materials. 1.3. The Contractor may organize the schedule by
- either chronological date or CSI Division. Allow ten (10) business days exclusive of delivery/transit time for the Architect's review of
- compliant submittals Allow fifteen (15) business days exclusive of delivery/transit time for the Architect's review of submittals incorporating substitutions
- Revise and reissue the schedule of submittals as required as submittals are processed.

- Be prepared to present an updated schedule of submittals at all regular project meetings, meetings with the Owner, and meetings with the Architect.
- Submit shop drawings, product data, samples and material safety data sheets only of items identified as requiring such in the contract documents.
 - Submit to the Architect for approval prior to ordering. 7.1. Any items purchased before approval and are subsequently rejected are the sole responsibility of the Contractor.
 - 7.2. No substitutions will be considered for products or methods that cannot be provided as a result of the Contractor's failure to order the products in a timely manner, to pursue the work promptly, or to coordinate the various activities properly.
- The Contractor is not to be relieved of responsibility for errors or omissions in shop drawings, product data, samples, or similar submittals by the Architect's approval thereof.
- Re-submissions: 9.1. It is intended that submittal data be complete
- and accurate at the first submission. 9.2. If the submittal is marked "Revise and Resubmit" or "Rejected", only one additional submittal will be accepted
- 9.3. If the second submittal is marked "Revise and Resubmit" or "Rejected", then no substitutions will be permitted, and the Contractor will be liable for the cost at hourly rates for the Architect's time required to process the submittal.
- 10. For specifically named products and materials, the Contractor will not make substitutions.
- 11. Schedule adjustments resulting from the Contractor's failure to abide by the submittal requirements of this section are the sole responsibility of the Contractor.

Submittal Responsibility:

- The Contractor will review and certify each submittal prior to transmitting it to the Architect.
- The certification shall state: 2.1. 'The data, and details in each shop drawing, product information data sheet, layout drawing, catalog cut sheet and product brochure has been reviewed by the undersigned and it complies with the contract drawings in all respects unless noted otherwise."
- Submittals without such certification will be returned
- to the Contractor unchecked. The Contractor is not to be relieved of responsibility for deviations from requirements of the contract documents by the Architect's approval of shop drawings, product data, samples, or similar submittals unless the Contractor has specifically informed the Architect in writing of such deviation at the times of submittal and the Architect has given written approval to the specific deviation.

Submittal Formats:

- Submittals may be made in either paper form or
- electronic form. Prior to the Contractor's distribution of any
- 2.1. Electronic formats and management thereof for electronically distributed material to be agreed upon between the Contractor and the Architect prior to first submission.
- 2.2. Distribution protocol between the Contractor and the Architect to be established prior to issue of submittals, shop drawings, or samples. Submittal Quantities:
- 3.1. Product data Six (6) legible hard copies or one (1) legible electronic version in PDF form. Shop drawings - Three (3) legible hard copies or one (1) legible electronic copy in PDF form.
- 3.3. Product samples Three (3) Submittal Organization:
- 4.1. Transmittal sheet with the following:
- Sequence number 4.3. Data or transmittal
- 4.4. Project name 4.5. Architect's project number
- Contractor's name 4.6.
- 4.7. Applicable subcontractor Supplier or manufacturer
- 4.8. Identification of product(s) or item(s) being 4.9. submitted
- All submittals must be verified by the Contractor for the following as a minimum before submission. The Contractor's stamp and initials or signature will
 - 5.1. Materials are in accordance with project
 - requirements Coordination of field dimensions
 - Coordination with adjacent construction Conformance with specified environmental and job conditions
- Coordination with other work
- 5.6. Conformance with the Contract Documents Coordination of Submittals: 6.1. Schedule submittals so that the Architect may
- logical sequence of the Work and the relative priority of the construction components. Submit items which must be coordinates, at the same time, so that submittals may be

review them in a sequence that reflects the

- reviewed together. Shop Drawings:
- 7.2. Dimensions and elevations noted herein are to be field verified by the Contractor prior to shop drawing submittal. 7.3. Upon receipt of shop drawings, the Architect

7.1. Submit shop drawings for all fabricated items

will assume field verification and will not check or verify dimensions or elevations. 7.4. Submit shop drawings for systems or fabricated items complete, simultaneously and grouped by system or items

7.5. Submit product information/samples and

material safety data sheets for all materials,

products and equipment as follows: 7.5.1. When submitting manufacturer's brochures and/or product information sheets, highlight or otherwise indicate clearly the appropriate model number and where needed strike out nonapplicable information.

- The Architect reserves the right to sample or otherwise direct the Contractor to remove limited portions of the installed work for the purpose of performing construction observations to verify compliance with the Contract Documents. Repairs to the sampling or removed areas will be made by the Contractor at no additional cost to the Owner.
- The Architect reserves the right to perform water penetration resistance testing in accordance with applicable industry standard test procedures. Components failing to meet applicable requirements will be replaced or repaired at the sole discretion of the Architect, at no additional charge to the Owner. The Owner reserves the right to back charge the Contractor for additional testing of materials installed to replace what was deemed unacceptable.
- Rejected or non-compliant work shall be repaired or replaced at the judgement of the Architect at no additional cost to the Owner. The Contractor shall pay the cost of the additional testing required of the repaired or replaced new work.
- Dimensions and Quantities: Dimensions and quantities remain the responsibility of the Contractor. The Contractor shall visit the site prior to submittal of a bid to familiarize with project conditions and obtain necessary dimensional information. Any dimensioning provided by GRLA is for reference only.
- Installation: Where products are named, follow the manufacturer's latest published Specifications for the application and/or installation unless otherwise noted. In the event of a conflict between Drawings and Specifications or between any of the Contract Documents, the more stringent and expensive shall govern at all times.

Requests for Substitutions

- Substitutions: In the interest of meeting the requirements of the project at the greatest possible level of economy, substitutions are encouraged, but only as provided for herein. Requests for substitution(s) will only be entertained by the Owner and/or Architect during the bid or negotiation period. Proposed substitute products must be in every way equal to or better than the system(s) proposed herein.
- 1. The burden of proof that proposed substitute products are equal to or better than those provided herein is on the Bidder/Contractor. The Bidder/Contractor must demonstrate with the bid that the proposed system is equal to or better in every way than the material or system specified herein.
- Upon receipt of the bid, the Owner and/or Owner's Architect reserve the right to reject the proposed substitution including for, but not limited to, insufficient evidence of equal or greater product at the time of receipt.

Substitution requests provided after receipt of the

- bids, during submittals phases, or during the Work will not be honored. Substitute products installed after Contract award, if not approved as provided for herein will be rejected and removed from the site at the Contractor's expense. The criteria for determining proposed substitute
- products include, but are not necessarily limited to, this Scope of Work, the judgment and experience of the Owner's Architect, any and all applicable industry standards such as ASTM, ANSI, AAMA, etc. that the specified products have referenced, and the experience and testimonials of industry professionals and product users.
- The request for a substitution will include the product data and test data for the specified product and the same data for the proposed substitute product. The Bidder will submit the product data with like performance characteristics highlighted with a yellow highlighter for the Owner's and Architect's side-byside comparison.
- If in the opinion of the Bidder/Contractor, the proposed substitution is equal to or better than products specified, the Bidder/Contractor shall provide comparison cost data for any savings that would be gained by use of substitute products.

Site Safety

- A. At all times during the Work, the Contractor shall be responsible for the safety of the Contractor's crew members; those visiting the site in the interest of the project such as the Owner, the Architect, and manufacturer field representatives. Prior to undertaking the Work, the Contractor shall prepare a proposed site use and safety plan, with schedule for the Work, with the Owner.
- Ultimately the Contractor is responsible for means and methods and is responsible for site safety during the course of the Work, including for crews within their employ and those who use, occupy, and pass by the site.
- If the requirements for the Work include obstructing entrances and sidewalks, the Contractor shall provide adequate means for redirecting vehicular and pedestrian traffic to usable entrance locations. If blocking entrances is required, the Contractor shall work with the Owner, providing advanced notice, to make alternate access arrangements.
- The Contractor shall provide signage or fencing to direct people away from work areas at all times.

The Contractor shall at all times provide protection of

occupants and furnishings and belongings from dust and debris due to the Work. The Contractor shall at all times maintain a clean work environment and at the end of each workday, clean the area of dirt, trash, materials, tools, equipment, etc.

At all times, equipment shall be protected in such a way as to prevent access to it by non-Contractor related individuals, including overnight.

1.9 Insurance and Bonding

- Bonding and Insurance: The Contractor is requested to submit a price quote to the Owner for a Performance and Payment (P&P) Bond. The Owner reserves the right to request a performance and payment bond at any time during the bid period or leading up to the Agreement.
- Insurance: The Contractor shall carry and pay for Liability Insurance including General Liability, Automobile Insurance and Worker's Compensation as well as Property or Builder's Risk Insurance for all risks up to the complete value of the project. The Contractor's Sub-contractors and if used Subsub-contractors shall also carry insurance and not be regarded as covered under the Contractor's policies.
- The following insurance requirements represent the minimum required insurance coverages and limits that the Contractor will need to provide, as further detailed in the contract. It is understood that these limits will not limit the liability of the Contractor.
 - Workers Compensation
 - Contractor shall maintain the following workers compensation limits: Coverage A Workers Compensation:
 - Statutory as Required by Massachusetts Law
 - Coverage B Employers Liability: Bodily injury by accident \$500,000 each accident Bodily injury by disease \$500,000 each employee Bodily injury by disease \$500,000 policy limit
 - Property Contractor must secure property insurance on an all risk basis, subject to full replacement cost for all property used in conjunction with Contractor's operations with the Conservancy. Such insurance should contain a waiver of subrogation stating Contractor waives all rights of subrogation against the Conservancy for loss to Contractor's property. It is agreed that the Owner is not responsible for any
 - Automobile Liability Contractor shall maintain the following minimum

loss whatsoever to Contractor's property.

- limits of automobile liability insurance: \$1,000,000 per accident, bodily injury and property damage combined. Coverage must include non-owned and hired liability.
- General Liability Contractor shall maintain the following minimum limits of general liability insurance: \$1,000,000 per occurrence for bodily injury and
- property damage \$5,000 medical expense \$1,000,000 personal injury \$2,000,000 general aggregate \$1,000,000 products / completed operations Coverage must be equivalent to the most recent edition of ISO Form CG 01 01. Coverage must be

provided on a first dollar basis without a deductible.

General liability policies subject to a deductible will need to be approved by the Conservancy. Umbrella Contractor shall maintain the following umbrella

\$5,000,000 per occurrence

\$5,000,000 aggregate

Self Insured Retention: Not to exceed \$10,000. Coverage should be equivalent or broader than the coverage afforded on the underlying general liability, automobile liability and employers liability

grant within the workers compensation policy.

- Other Requirements Certificates of Insurance evidencing the above required coverages must be provided to the Owner at the execution of contract. Certificates of Insurance must be provided naming the following entities as Certificate
 - Rose Fitzgerald Kennedy Greenway Conservancy, Inc.; 185 Kneeland St.; Boston, MA

City of Boston; One City Hall

Square; Boston, MA 02201

Massachusetts Department of

Transportation: 10 Park Plaza, Suite 3170; Boston, MA 02116 Insurance Carriers must be authorized to write business in the Commonwealth of Massachusetts and have a minimum AM Best

Rating of A- VII. Certificates must specify the

current AM Best Rating of each insurance

carrier providing insurance to Contractor.

- Certificates must also specifically state the above entities are named as additional insureds on the general liability, automobile liability, and umbrella liability policies. The certificate must also state that the coverage is being afforded to the additional insured on a primary and non-contributory basis.
- All policies required must include a waiver of subrogation, waiving all of Contractor's rights against the Owner, The City of Boston, and the Massachusetts Department of Transportation. Certificate must note the same. The workers compensation policy must
- notice of cancellation or nonrenewal to each

CHINATOWN FOUNTAIN STREAMBED **REPAIR PROJECT**

34W LINCOLN STREET BOSTON, MA 02111

ROSE KENNEDY GREENWAY CONSERVANCY

185 KNEELAND STREET BOSTON, MA 02111



Gorman Richardson Lewis Architects 239 South Street Hopkinton, MA 01748 www.grlarchitects.com

EMBER

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SEPTEMBER 27, 2024 Proj. No.: 2024031.01 AS NOTED Drawn By: APK

GENERAL NOTES & SPECIFICATIONS

Checked By: RG

File Name: _G0_1.dwg

be specifically endorsed as such. The certificate should indicate that 30 days'

- certificate holder will be provided. Any "endeavor to provide notice" should be deleted. The policies must be specifically endorsed to provide notice to the certificate
- Failure to provide property and casualty insurance certificates meeting the requirements detailed herein could result in revocation of acceptance and denial of access to The Greenway.
- All insurance required must be maintained throughout the duration of the contract. If at any time during the Term of Contractor's contract with the Conservancy evidence of current insurance is not on file with the Conservancy, then Contractor's right to occupy its designated Location(s) and provide Services will be suspended until Contractor provides the Conservancy with acceptable evidence of the required insurance.
- Sub-Contractors are bound to the same insurance requirements as the Contractor.

Warranties

Manufacturer Warranties:

PMMA Waterproofing Manufacturer:

1.1. Provide manufacturer's standard warranty form for the PMMA waterproofing system in which the manufacturer agrees that all materials will be free from defect and comply with all performance requirements listed in their product data sheet

- 1.2. Warranty Period: 20 Year PMMA Membrane System Warranty from the date of Substantial Completion.
- 1.3. The manufacturer will require attendance at a pre-construction meeting, for mock-up reviews, and sign off on substantial completion in order to provide a warranty. The Contractor shall coordinate these on-site meetings with the manufacturer's field representative as required.

Mortar Bed Manufacturer:

- 2.1 Provide manufacturer's standard warranty form for mortar bed products in which the manufacturer agrees that all materials will be free from defect and comply with all performance requirements listed in their product data sheet.
- Warranty Period: 5 Year Mortar Bed Warranty from the date of Substantial Completion.

LED Lighting Manufacturer

- 3.1 Provide manufacturer's standard warranty for waterproof submerged LED lighting in which the manufacturer agrees that all materials will be free from defect and comply with all performance requirements listed in their product data sheet.
- 3.2 Warranty Period: 1 Year Lighting Warranty from the date of Substantial Completion.

Contractor Warranties:

The Contractor shall provide a Contractor Workmanship Guarantee; the Contractor's standard form in which the Contractor agrees to repair or replace any materials installed that do not comply with the performance and other requirements specified in these documents within the specified guarantee period.

1.1. Guarantee period: Two (2) years from date of Substantial Completion.

Project Closeout

The following is the Project Closeout process:

- When substantial completion is reached, the Contractor shall perform a punch list inspection to include a list of items necessary to complete. The Contractor shall then submit a completed *Punch List* to the Architect, who in turn will use it to perform a punch list inspection for verification of items and/or any needed additions or modifications. The Architect shall then issue a Certificate of Substantial Completion.
- The Contractor shall then perform the Punch List items and notify the Architect when they are finished. The Architect will then perform a verifying inspection.
- When all items are finished, the Contractor shall then submit to the Architect a final Application for Payment. The Architect will review and act upon it, and forward to the Owner for final payment. Final payment will not be made until such time the Contractor delivers to the Architect applicable lien wavers. Final payment will include all held retainage.
- Prior to the Owner's final payment, the Contractor shall provide the following in a three-ring binder sorted with tabs, and using a Table of Contents for the Owner's ease of use:
- All applicable manufacturer's warranties
- All applicable Contractor warranties
- Any-and-all maintenance instructions required of the Owner
- The name, telephone number, and e-mail address of the person or persons to be contacted in the event of an issue, problem, event, or potential claim that the Contractor needs to respond to.
- All signed Applications for Payment and Lien
- All approved Change Orders 4.7. The Drawings

END OF SECTION

PART 2 PRODUCTS

General

- A. Reference Standards as cited by the named manufacturer's products are incorporated into the Contract requirements for the Work, whether stated in these Specifications and Drawings or not.
- In all cases, the specified products shall be installed in strict accordance with the manufacturer's latest published Specifications, Installation Instructions, and all Reference Standards therein unless specifically stated otherwise. Requirements under 3.0 Execution are not intended to change or modify manufacturer's requirements and Reference Standards unless specifically stated otherwise; but, rather, they are intended to reinforce and supplement the manufacturer's requirements.
- If and when applicable, color samples shall be submitted to the Owner for approval of color and appearance to match existing. The Owner has the right to request mock-up work of any product in order to aid in the selection of color and appearance at no additional cost to the Owner.
- The Contractor shall confirm the compatibility between all products that shall come into contact with one another prior to installation of each product.
- Refer to the drawings for any products that may not be listed in these specifications.

03 15 13 - WATERSTOPS

- Work Includes: Provide labor, materials, and equipment necessary to complete the work in this section but not limited to the following:
- Installation of hydrophilic waterstops at existing concrete construction joints. 2. Surface preparation of existing concrete construction
- joints for installation of continuous waterstops.
- Basis of Design: Hydrotite Expandable Waterstop by Sika Corporation of Lyndhurst, NJ Material: Non-Bentonite, Modified chloroprene rubber
 - Size: To be determined in field at existing construction joints. Conforming to ASTM D412, D2240, D624, D792
 - Acceptable Product: Sika Hydrotite or approved

Accessories

- Sika Hydrotite Adhesive or approved equal to secure waterstop to smooth, dry concrete.
- Provide Sika Greenstreak Epoxy 7300 two component epoxy gel or approved equal to secure Sika Hydrotite to rough, wet (or dry) concrete. 3. Provide Leakmaster single component hydrophilic
- sealant or approved equal to secure Sika Hydrotite to rough, dry concrete. 4. Provide cyanoacrylate adhesive (i.e. Super Glue) for
- all waterstop splices.
- Provide Leakmaster or approved equal in addition to cyanoacrylate adhesive at all splices for added

03 01 00 - CONCRETE REHABILITATION

protection.

- A. Work includes: Provide labor, materials, and equipment necessary to complete the work in this section but not limited to the following: 1. Preparation and routing of exterior concrete curb
 - Installation of new hydraulic cement at prepared
- Basis of Design: SikaSet Waterplug by Sika Corporation of Lyndhurst, NJ.
- Material: one-component, quick-setting, Portland-
- cement-based hydraulic repair mortar. Composition: mix composed of cement, graded silica,
- calcium hydrocide, fillers, and additives. Acceptable Product: Sika SikaSet Waterplug or approved equal.

07 14 16 - COLD FLUID APPLIED WATERPROOFING

- Basis of Design: ALSAN TRAFIK RS 730 FIELD (HORIZONTAL SURFACES) and ALSAN TRAFIK RS 730 FLASH (VERTICAL SURFACES) by Soprema US of Wadsworth, OH. Material: High performance, rapid-setting,
 - polymethyl methacrylate (PMMA) liquid. Material Properties: UV Stable, high solids, and VOC
 - Conforming to ASTM D5147, D7264, C1305, D5602, D2240, D570, E96, D1929, E84, D635, and EPA Method 4. Acceptable Product: Soprema ALSAN TRAFIK RS 730
- FIELD and ALSAN TRAFIK RS 730 FLASH or approved

- 1. Soprema ALSAN RS Fleece Polyester-based reinforcement Soprema Aquafin Vaportight Coat SG3 Primer- Use to
- avoid issues with latent moisture in concrete deck Soprema ALSAN TRAFIK RS 730 FIELD/FLASH RESIN #1/ Quartz Aggregate - Bonding Layer to be applied over
- Soprema ALSAN RS Catalyst Powder a reactive agent
- used to induce curing of ALSAN RS resin products. 5. Soprema Polyether Pourable Sealer- One-Part

Pourable penetration sealant to be used for horizontal

07 90 00 - SEALANTS

PMMA reglet terminations.

A. Sealant:

- Approved sealants for termination of cold fluid applied waterproofing at reglets:
 - PMMA compatible sealant, one part, neutral cure for use in most common weatherproofing applications on a wide variety of materials.

- Approved equal for review to be a pure PHneutral silicone sealant without mineral
- plasticizers. Confirm proper primer with manufacturer for specific substrate to be sealed.

Accessories:

- Round backer rod closed cell, non-gassing, polyethylene foam rod, SoftRod as manufactured by Applied Extrusion Technologies, Inc., or HBR as manufactured by Nomaco.
 - Rod diameter joint width plus 25 percent. Rod skin to be continuous and unbroken to prevent out-gassing and voids in overlying sealant.

09 30 00 - STONE SETTING MATERIALS

- A. Basis of Design: LATICRETE 3701 Fortified Mortar Bed by LATICRETE International, Inc. of Bethany, CT. Material: Polymer fortified blend of carefully selected polymers, portland cement and graded
 - Suitable for submerged applications
 - Setting bed mortar shall conform to ASTM C 270, Type S, except that latex polymer additive shall be mixed with the cementitious materials and aggregate in lieu of water.
 - Cement shall conform to ASTM C 150, Type II, complying with the staining requirements of ASTM C 91 for not more than 0.03 percent water soluble alkali. Fifteen percent additional cement may be used for setting granite in cold weather, (when the mean daily temperature is below 40 Fahrenheit., or is expected to fall to below 40 Fahrenheit.. within 72 hours).
 - Sand shall conform to ASTM C 144, non-staining. Hydrated lime shall conform to ASTM C 207.
 - Acceptable product: LATICRETE 3701 Fortified Mortar Bed, or LATICRETE 226 Thick Mortar Bed with 3701 Mortar Admixture, or Approved Equal.
- LATAPOXY 300 for river rock adhesion to new mortar
- Compatible Mortar Coloring Agent. Color to be determined by Owner.
- Mortar Bed Stone to match existing as closely as possible with washed river rock in regard to size, shape, texture, color, appearance, etc. Owner to approve size, color, texture, etc. New stone to be free of cracks, veins, and other defects.

26 00 00 - TEMPORARY ELECTRICAL DISCONNECTS

- Work Includes: provide labor, materials, and equipment necessary to complete the work of this section, including but not limited to the following:
 - Extension of electrical services as required.
 - Removal and replacement of electrical fixtures, lighting fittings, wires, cables, and conduits where indicated on the drawings.
 - Coordinate the progress of the work with the replacement of the river bed system. Ongoing removal and replacement throughout the scope of the work may be required. Coordinate schedule with client and other trades.

26 55 29 - UNDERWATER LIGHTING

- Work Includes: Provide labor, materials, and equipment necessary to complete the work in this section but not limited to the following: 1. Installation of underwater recessed accent lighting.
- Basis of Design: Hydrel 4426 LED FTN LED & RGB Fountain and Reflecting Pool Fixture by Acuity Brands, Inc. of Conyers,
- Accessories
- Anti-Tampering Security Bezel for Installation in River
 - Associated wiring, drivers, controls, etc. to be connected into existing lighting controls.

END OF SECTION

PART 3 EXECUTION

General

- A. Prior to undertaking the Work, the Contractor shall conduct a pre-installation conference at the site with a representative of each respective manufacturer present. The Owner and Architect shall also be present. The agenda shall be to review and confirm the design requirements and associated details for the Work. During the course of the Work, all manufacturer's representatives shall visit the site to conduct inspections to be sure warranty requirements are met and provided.
- Prior to the installation of materials, all products must be submitted by the Contractor to the Architect and must be reviewed and approved by the Architect. Any materials installed by the Contractor without approval by the Architect or the Owner are subject to removal at no additional cost to the Owner.
- Prior to full-scale implementation, all work shall be mockedup. The mock-up shall be inclusive of each detail at the site. Work shall not proceed until all mock-up work is finished and the Contractor is authorized to proceed by the Architect, the Owner, and a representative from the manufacturer of each
 - The Contractor shall perform an in-place mockup for each detail and product described in the documents with the Architect and the Owner present. Mockup areas can be combined to include multiple details and products, so long as the Contractor covers all details and products within the documents before fully commencing with the Work. If the mockup work includes other Consultant's work, than the Consultant of said work shall be present as well. Approved in place mockups may be incorporated into the final completed work.

The Contractor shall provide the Owner and Architect with a tentative schedule for anticipated mockup

- review dates for the following items:
- Concrete Repairs
- 2.2 PMMA waterproofing installation Mortar Setting Bed Installation 2.3 River Rock Installation
- D. As part of the mock-up process, the Architect reserves the right to conduct water penetration resistance testing. Mockup materials and systems failing testing shall be rejected and replaced by the Contractor at no additional cost to the Owner. The Architect also reserves the right to test any portion of the construction during the course of the Work.

Materials and systems failing testing shall be replaced at no

2.4

additional cost to the Owner.

- E. The Contractor shall daily clean the site of removed materials, debris, trash, garbage, and secure materials for new work at locations agreed to with the Owner.
- F. At all times, the Contractor is responsible for maintaining a watertight enclosure. Daily, opened sections of the Construction will be covered for protection against wind, cold, precipitation, insect infestation and to provide security against intruders.
- Protect all areas around the Work. Prevent the Work from staining faces of masonry. Protect the base of walls from the Work by means of coverings spread on the ground and over the wall surface. Protect sills, ledges, and projections from the Work. Protect surfaces of window and door frames, as well as similar products with painted and integral finishes, from the Work.
- Protect finished work from all related work. Damage to materials shall be replaced at no additional cost to the Owner. The Architect shall be the sole judge of replacement or repair of damage caused by the Contractor in performance
- When the Contractor finishes the Work, the Contractor shall leave the site clean of all materials, debris, dirt, dumpsters, Port-A-Toilets and the yard and grounds at all work and storage areas shall be raked and swept clean to the satisfaction of the Owner.
- Concrete Rehabilitation
 - Do not apply to frozen or frost-covered
 - Do not apply to dynamic (moving) cracks.
 - Do not use to fill expansion joints or control
 - Do not remix (retemper) hardened material. Always Pre-Dampen the substrate prior to placing hydraulic cement.
 - Mix powder with clean, potable water. Use powder (neat) without adding any
 - aggregates, chemical additives, or Add just enough water to mix rapidly by hand to a stiff, low-slump, putty
 - consistency. Mix no longer than 30 Mix only enough product that can be successfully placed within 3 minutes under normal temperatures. Do not retemper material after initially
 - Clean the mixing vessel and tools immediately after each use.
 - Application: Pre-dampen the substrate prior to 7.1 installation
 - Place hydraulic cement with minimum working, kneading, or rubbing. Force repair mortar into cracks or holes and hold it in place (without
 - twisting) until the set is fully achieved. Just prior to the final hard set, hydraulic cement may be "shaved" with a trowel until flush with the surrounding surface. Always shave from the center out, in the direction of
 - the bond line. If the repair area is dry at the time of placement, keep the substrate damp for 15 minutes minimum, using a fine spray misting of water, before and
 - after placement. Follow manufacturer approved recommendations for installation, working temperatures, and curing times.
- - Store waterstops under tarps to protect from oil, dirt, sunlight, and premature exposure to

Existing construction joints to be prepared to

- Remove all dust, dirt, oil, grease, wax, loose paint, etc. on existing substrates.
- receive new waterstops. Cut coil ends square (or at proper angle for mitered corners) with shears or sharp blade to
- fit splices together without overlaps. Splices shall be sealed using cyanoacrylate adhesive (super glue) and LEAKMASTER
- Seal any exposed open ends of SIKA HYDROTITE using LEAKMASTER.

(LEAKMASTER is optional).

approved Follow manufacturer recommendations

K. Stone Setting Materials

- Mortar bed to be installed in lifts of 2" maximum or as required by the manufacturer. Allow a minimum 14-day cure at 70°F (21°C)
- after the final grouting period prior to filling water features with water. All surfaces should be between 40°F (4°C) and 90°F (32°C) and structurally sound, clean and free of all dirt, oil, grease, laitance, paint, concrete sealers or curing compounds. Dry

dusty concrete slabs or masonry should be

- dampened and excess water swept off. Installation may be made on a damp surface. Mix a 60 lb bag (27.2 kg) of 3701 Fortified
- Mortar with 2 3.2 quarts (1.9 3 L) of water for 2 to 3 minutes. Mix to a stiff, semi-dry consistency. Allow to slake for 5 minutes. Remix for another 2 to 3 minutes without adding any water or powder.
- For river stone bed epoxy installation, All surfaces should be between 60°F (16°C) and 90°F (32°C) and structurally sound, clean and free of all dirt, oil, grease, paint, concrete sealers or curing compounds.
- Pour LATAPOXY 300 Adhesive Part A and Part B into a clean mixing pail and mix thoroughly. Add LATAPOXY 300 Part C Filler Powder and mix to a smooth, trowelable consistency. Mortar is ready for use immediately after
- Apply LATAPOXY 300 to the substrate with the flat side of the trowel, pressing firmly to work into surface. Comb on additional mortar with the notched side. Install washed river rocks while epoxy is being
- can be placed at a single time. manufacturer approved recommendations for installation and temperature requirements.

set. Do not apply more epoxy than stones that

Cold Fluid Applied Waterproofing

- Apply Aquafin Vaportight Coat SG3 Primer to all substrates to receive new PMMA waterproofing.
- Using a slow-speed (200 to 400 rpm) mechanical agitator, thoroughly mix the entire container of resin for two minutes before use. Only catalyze the amount of material that can be used within 10-15 minutes. Add the pre-measured catalyst to the resin component and stir for two minutes and apply to the substrate. Apply without dilution or thinning.
- ALSAN TRAFIK RS 730 FIELD is to be installed on horizontal surfaces.
- ALSAN TRAFIK RS 730 FLASH is to be installed on vertical surfaces.
- After mixing, apply ALSAN TRAFIK RS 730 to prepared substrate at the required consumption using a roller or brush. The resin should be applied evenly onto the surface using care not to spread too thin or pool in low

Install ALSAN TRAFIK RS 730 FIELD/FLASH

RESIN #1/ Quartz Aggregate bonding Layer to

be applied over completed PMMA installation for mortar bed adhesion. approved manufacturer recommendations for installation, mixes, temperature requirements, cure times, etc.

Examination Examination

- The Contractor is to verify existing site conditions.
- The Contractor is to coordinate the selection, and installation, of all products with a representative from the manufacturer of each product, the Owner, and the Architect.

Field Quality Control

with no cost to the Owner.

- The Contractor is responsible for quality control and for performing work in accordance with applicable standards, the manufacturer's latest published Specifications, the Building Code, and the Contract Documents.
- Visual inspection of the work will be provided by the Owner and the Architect. If conditions are unacceptable, the Owner will notify the Architect.
- The fluid applied PMMA manufacturer and mortar manufacturer on-site field representative shall perform the following site visits: preconstruction meeting, 25% completion, 50% completion, 75% completion, substantial completion. The field representative shall provide field reports regarding progress and any non-conforming work requiring corrective action. The contractor shall inform the field representative and Architect with an approximate schedule as to when site visits are to occur. The Contractor shall be responsible for correcting any non-conforming work
- Adhesion/bond tests at mockup areas to be performed by the PMMA manufacturer to ensure that adequate bond can be

END OF SECTION

achieved.

CHINATOWN FOUNTAIN STREAMBED **REPAIR PROJEC** 34W LINCOLN STREET BOSTON, MA 02111

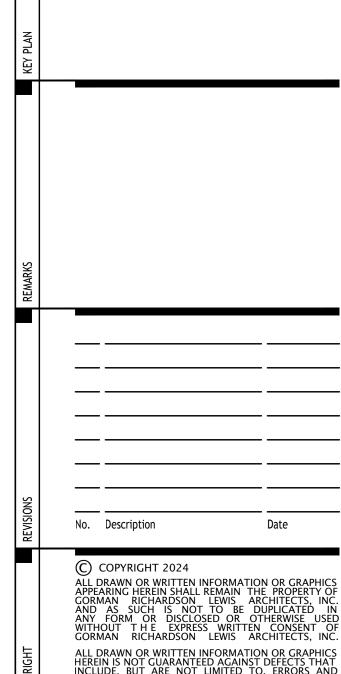
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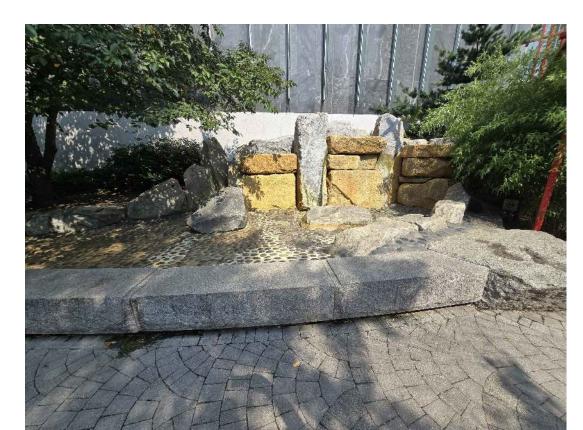
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GENERAL NOTES & SPECIFICATIONS

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1 SITE PLAN



2 EXISTING WATERFALL CONDITIONS



3 EXISTING RIVERBED CONDITIONS



EXISTING RIVERBED DRAIN CONDITIONS

SCALE: N.T.S

GENERAL NOTES

- THE BASELINES FOR THESE SITE PLANS WERE TAKEN FROM SATELLITE IMAGERY AND REPRESENTATIVE IN-FIELD MEASUREMENTS. ALL DIMENSIONS SHOWN ARE APPROXIMATE; CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD.
- ADJACENT STREETS AND EMERGENCY VEHICLE ENTRANCEWAYS MUST REMAIN OPEN AT ALL TIMES.
 CONTRACTOR TO APPLY FOR AND RECEIVE APPROPRIATE PERMITTING FOR MOBILIZATION AND
 DEMOBILIZATION THAT REQUIRES OBSTRUCTION OF ADJACENT STREETS AND TRAFFIC PATTERNS.
- 3. CONTRACTOR SHALL PROVIDE ALL TEMPORARY BARRICADES TO PREVENT PEDESTRIANS FROM ACCESSING THE WORK AREAS OR FROM WALKING UNDER WORK LOCATIONS.
- 4. PROVIDE CHAIN LINK FENCE AROUND STAGING LOCATIONS TO PREVENT UNAUTHORIZED ACCESS.
- THE CONTRACTOR IS TO PROVIDE LOCKS AROUND FENCING TO PREVENT UNAUTHORIZED ACCESS TO THE
- 6. THE CONTRACTOR IS TO PROVIDE TEMPORARY SIGNAGE TO DIRECT THE FLOW OF PEDESTRIAN TRAFFIC IN A SAFE MANNER AWAY FROM THE WORK SITE.
- 7. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE PROPOSED STAGING/LAYDOWN AREAS FOR THE OWNER'S REVIEW THAT WILL MINIMIZE DISRUPTIONS TO FOOT TRAFFIC IN THE GENERAL AREA.
- 8. COORDINATE THE DISCONNECTION AND RECONNECTION OF ANY SITE UTILITIES WITH THE OWNER PRIOR TO PERFORMING THE WORK. ANY DAMAGE CAUSED BY THE CONTRACTOR'S PROJECT WORK ACTIVITY SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER OWN COST AND TO THE SATISFACTION OF THE
- 9. CONTRACTOR PARKING ON SITE IS NOT PERMITTED. CONTRACTOR TO COORDINATE PUBLIC PARKING.
- HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS A MEANS OF QUANTIFYING.
- 11. THE OWNER REQUIRES COMPLIANCE ON WORK HOURS, SCHEDULING, SET UP, CLEANUP, PARKING, SECURITY, ETC. REFER TO SPECIFICATIONS FOR OWNERS REQUIREMENTS.
- 12. THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- 13. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
- 15. ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR.
- 6. NO HAZARDOUS MATERIAL SAMPLING AND TESTING HAS BEEN PERFORMED. IF A SUSPECTED HAZARDOUS MATERIAL IS ENCOUNTERED, THE CONTRACTOR IS TO ADHERE TO ALL APPLICABLE PROTOCOLS IN REGARD TO HANDLING, DEMOLITION, ABATEMENT AND DISPOSAL AS DICTATED BY LOCAL, STATE, AND FEDERAL REQUIREMENTS.

CHINATOWN FOUNTAIN STREAMBED REPAIR PROJECT

34W LINCOLN STREET BOSTON, MA 02111

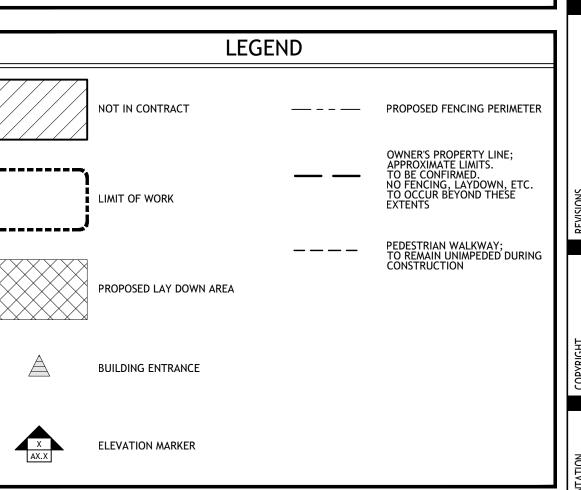
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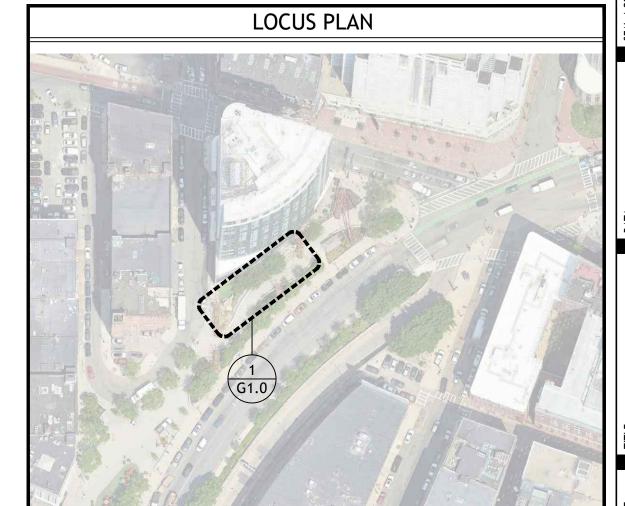
185 KNEELAND STREET BOSTON, MA 02111

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Gorman Richardson Lewis Architects 239 South Street Hopkinton, MA 01748

www.grlarchitects.com





GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
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Date: SEPTEMBER 24, 2024

Proj. No.: 2024031.01

Scale: AS NOTED

Drawn By: APK

No. Description

SITE PLAN

Checked By: RG

File Name: _G1_0.dwg

G1.0

EXISTING FOUNTAIN & RIVER BED PLAN

SCALE: 1/4" = 1'-0"

NOTE: EXISTING FIELD CONDITIONS MAY VARY THAN WHAT IS DISPLAYED ON EXISTING DRAWINGS. DIMENSIONS HAVE BEEN INCLUDED TO BE MORE REPRESENTING OF FIELD CONDITIONS. CONTRACTOR TO VERIFY DIMENSIONS AND LOCATIONS OF WORK.

GENERAL NOTES

- THE INFORMATION SHOW ON THIS PLAN HAS BEEN COMPILED FROM VARIOUS SOURCES AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD.
- 2. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE PROPOSED STAGING/LAYDOWN AREAS FOR THE OWNER'S REVIEW THAT WILL MINIMIZE DISRUPTIONS TO FOOT TRAFFIC IN THE GENERAL AREA.
- 3. COORDINATE THE DISCONNECTION, RECONNECTIONS, OR CONNECTION OF ANY SITE OR FOUNTAIN UTILITIES WITH THE OWNER PRIOR TO PERFORMING THE WORK.
- 4. ALL WORK IS TO BE PERFORMED AT THE EXTERIOR. CONTRACTOR TO PROVIDE SANITARY FACILITIES FOR LABORERS; LOCATION TO BE COORDINATED WITH THE OWNER.
- 5. THE CONTRACTOR SHALL ENDEAVOR TO LIMIT INTERACTIONS WITH PEDESTRIANS, ADJACENT BUILDING OCCUPANTS, ETC.
- 6. ALL STONES, PAVERS, GRANITE BLOCKS, AND OTHER MATERIALS THAT ARE TO BE REINSTALLED SHALL BE TAGGED AND NUMBERED SO THAT THEY CAN BE REINSTALLED AT THE SAME LOCATIONS.
- 7. OVERALL FINISH GRADE OF NEW RIVER BED MATERIALS TO MATCH THAT OF THE EXISTING FINISH GRADES. PRIOR TO THE START OF WORK, THE CONTRACTOR IS TO REVIEW ALL FINAL GRADES WITH THE ARCHITECT PRIOR TO THE INSTALLATION OF NEW

SCOPE OF WORK/KEYNOTES

- ALTERNATE #1 (ADD) REPAIR CRACKS AT EXTERIOR CONCRETE CURB. REPAIR ANY AND ALL SPALLS, CRACKS, DEFECTS, ETC., IN EXISTING CONCRETE CURB TO REMAIN. ATTACHED GRANITE CURB TO REMAIN. SEE DWG 6/A7.0.
- REMOVE AND DISPOSE OF EXISTING RIVER STONES AND MORTAR SETTING BED DOWN TO EXISTING SLOPED CONCRETE RIVER BED.
- EXISTING STONE BLOCKS IN RIVERBED TO BE REMOVED AND STORED; REINSTALL AFTER INSTALLATION OF NEW WATERPROOFING SYSTEM AND MORTAR BED WITH EPOXY. OWNER AND ARCHITECT TO CONFIRM FINAL PLACEMENT.
- REMOVE AND STORE EXISTING GRANITE FASCIA WATERFALL STONES; REMOVE STONES BACK TO CONCRETE CORE STRUCTURE CONTAINING EXISTING WATERFALL "WELLS". REINSTALL GRANITE FASCIA WATERFALL STONES AFTER INSTALLATION OF PMMA WATERPROOFING SYSTEM. OWNER AND ARCHITECT TO CONFIRM FINAL PLACEMENT.
- REPAIR ANY AND ALL SPALLS, CRACKS, DEFECTS, ETC., IN EXISTING CONCRETE STRUCTURES TO REMAIN. INFORM THE ARCHITECT AND OWNER IF ANY SIGNIFICANT DETERIORATION IS ENCOUNTERED DURING DEMOLITION PROCEDURES.
- CONTRACTOR TO TEMPORARILY DISCONNECT ELECTRICAL SERVICES FOR RIVERBED LIGHTING. REMOVE AND DISPOSE OF EXISTING INSET RIVERBED LIGHTING; INSTALL AND CONNECT NEW INSET LED LIGHTING PER THE DIRECTION OF THE OWNER.
- NEW PMMA WATERPROOFING SYSTEM TO BE INSTALLED ON EXISTING CONCRETE RIVERBED STRUCTURE, CONCRETE CORE STRUCTURE AT WATERFALL, AND EXISTING WATERFALL WELLS. HORIZONTAL SURFACES TO RECIEVE TYPICAL PMMA SYSTEM; VERTICAL SURFACES TO RECIEVE PPMA FLASHING SYSTEM. NEW REGLETS TO BE CUT INTO EXISTING CONCRETE AND GRANITE CURBS FOR TERMINATION OF NEW WATERPROOFING. COORDINATE WITH ARCHITECT PRIOR TO PERFORMING WORK ON REGLETS. NEW WATERPROOFING SYSTEM TO TERMINATE APPROXIMATELY \$\frac{1}{2}\$" BELOW NEW MORTAR/RIVER STONE SETTING BED. WATERSTOPS TO BE INSTALLED WHERE INDICATED. REMOVE EXISTING GROUT AT JOINTS BETWEEN EXISTING GRANITE CURBS. INSTALL NEW GROUT TO FULL DEPTH AT JOINTS BETWEEN EXISTING GRANITE CURBS.
- INSTALL NEW MORTAR SETTING BED WITH NEW RIVER STONES TO IN-LIKE KIND CONDITION.
- CONTRACTOR TO TEMPORARILY DISCONNECT ELECTRICAL AND/OR

 MECHANICAL SERVICES AS REQUIRED IN ORDER TO PERFORM THE WORK. RECONNECTION
 TO BE PERFORMED UPON COMPLETION OF THE WORK.

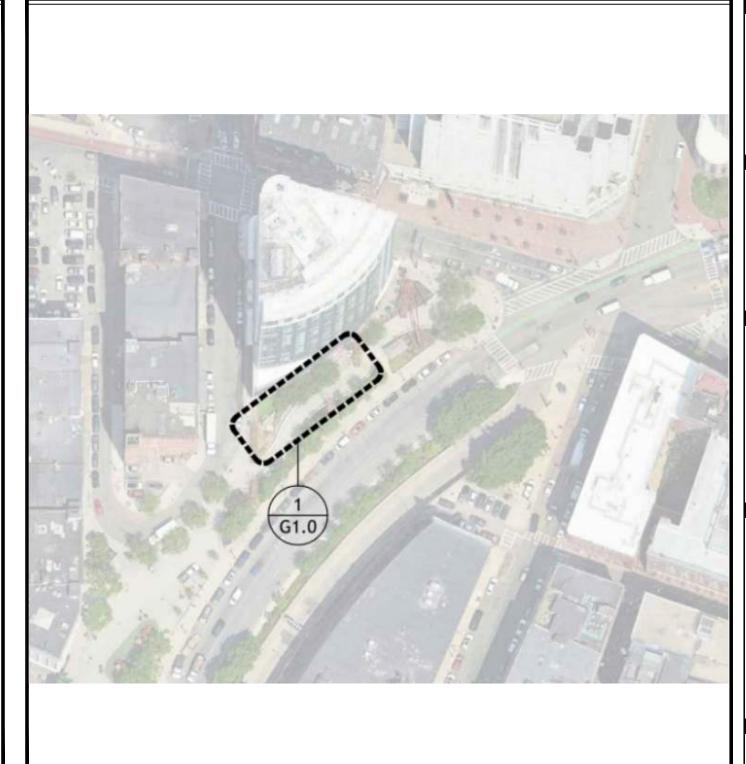
ALTERNATE #2 - (ADD) CUTTING OF A HORIZONTAL REGLET IN EXISTING CONCRETE SLAB IN FRONT OF WATERFALL GRANITE FASCIA. TERMINATION OF PMMA TO OCCUR AT THIS REGLET WITH COMPATIBLE POURABLE SEALER. (DEDUCT) REMOVE AND STORE EXISTING GRANITE FASCIA WATERFALL STONES; REMOVE STONES BACK TO CONCRETE CORE STRUCTURE CONTAINING EXISTING WATERFALL "WELLS". REINSTALL GRANITE FASCIA WATERFALL STONES AFTER INSTALLATION OF PMMA WATERPROOFING SYSTEM. INSTALLATION OF PMMA AT WATERFALL "WELLS" AND VERTICAL CONCRETE CORE STRUCTURE IN CONJUNCTION WITH ASSOCIATED WATERSTOPS AND OTHER ACCESSORIES. SEE DWGS 1&2/A7.3.

LEGEND

EXISTING RIVERBED LIGHTING;
TO BE REMOVED AND REPLACED.

D EXISTING DRAIN/SUMP;
TO REMAIN, NEW GASKETING TO BE
INSTALLED AS NECESSARY

C EXISTING LIGHTING CONDUIT BOX;
TO REMAIN, NEW GASKETING TO BE INSTALLED AS NECESSARY



LOCUS PLAN

CHINATOWN FOUNTAIN STREAMBED REPAIR PROJECT

34W LINCOLN STREET BOSTON, MA 02111

ROSE KENNEDY GREENWAY CONSERVANCY

185 KNEELAND STREET BOSTON, MA 02111

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Gorman Richardson Lewis Architects 239 South Street Hopkinton, MA 01748 www.grlarchitects.com

SNO 1 ADDENDUM #1 10/18/2024
No. Description Date

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Project North

Date: SEPTEMBER 27, 2024

Proj. No.: 2024031.01

Scale: AS NOTED

Drawn By: APK

Checked By: RG

EXISTING FOUNTAIN & RIVER BED PLAN

File Name: A1_0.dwg

Δ1 0

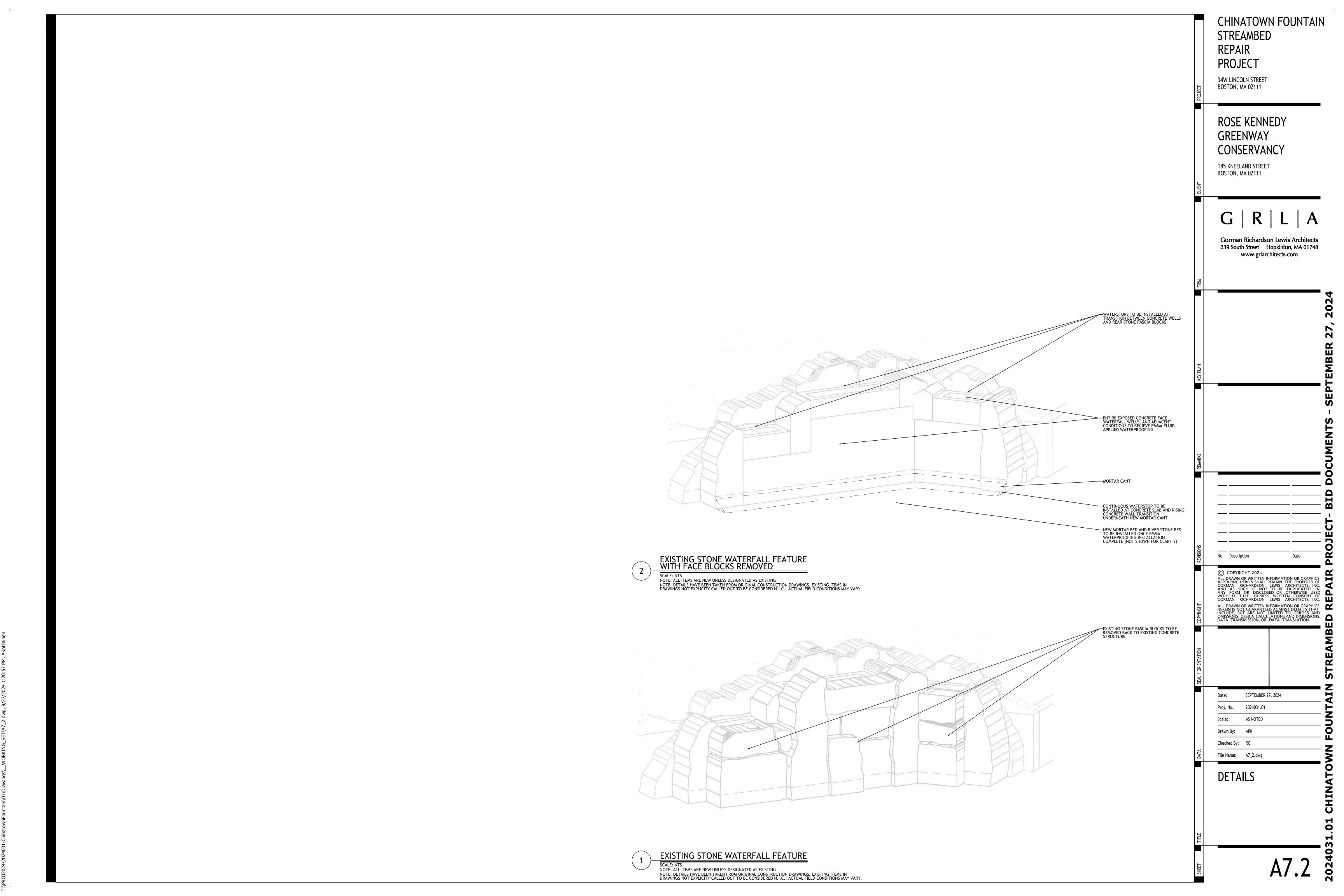
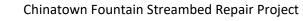


EXHIBIT C

- See document(s) that follow -



Boston, MA

GRLA Project #: 2024031.01 September 27, 2024

G R L A
INTELLIGENT + SUSTAINABLE DESIGN
Contractor:

	BASE BID						
LINE	ITEM	Quantity	Unit	Unit Price	Total		
1	REMOVE AND DISPOSE OF EXISTING RIVER STONES AND MORTAR SETTING BED DOWN TO EXISTING SLOPED CONCRETE RIVER BED.		SF				
2	EXISTING STONE BLOCKS IN RIVERBED TO BE REMOVED AND STORED; REINSTALL AFTER INSTALLATION OF NEW WATERPROOFING SYSTEM AND MORTAR BED WITH EPOXY. OWNER AND ARCHITECT TO CONFIRM FINAL PLACEMENT.		EA.				
3	REMOVE AND STORE EXISTING GRANITE FASCIA WATERFALL STONES; REMOVE STONES BACK TO CONCRETE CORE STRUCTURE CONTAINING EXISTING WATERFALL "WELLS". REINSTALL GRANITE FASCIA WATERFALL STONES AFTER INSTALLATION OF PMMA WATERPROOFING SYSTEM. OWNER AND ARCHITECT TO CONFIRM FINAL PLACEMENT.		EA.				
4	REPAIR ANY AND ALL SPALLS, CRACKS, DEFECTS, ETC., IN EXISTING CONCRETE STRUCTURES TO REMAIN. (ASSUME 5% OF TOTAL SURFACE AREA). INFORM THE ARCHITECT AND OWNER IF ANY SIGNIFICANT DETERIORATION IS ENCOUNTERED DURING DEMOLITION PROCEDURES.		SF				
5	CONTRACTOR TO TEMPORARILY DISCONNECT ELECTRICAL SERVICES FOR RIVERBED LIGHTING. REMOVE AND DISPOSE OF EXISTING INSET RIVERBED LIGHTING; INSTALL AND CONNECT NEW INSET LED LIGHTING PER THE DIRECTION OF THE OWNER.		EA.				



Chinatown Fountain Streambed Repair Project Boston, MA

GRLA Project #: 2024031.01

September 27, 2024

	NEW PMMA WATERPROOFING SYSTEM TO BE				
	INSTALLED ON EXISTING CONCRETE RIVERBED	SF			
	STRUCTURE, CONCRETE CORE STRUCTURE AT				
	WATERFALL, AND EXISTING WATERFALL WELLS.				
	HORIZONTAL SURFACES TO RECIEVE TYPICAL PMMA				
	SYSTEM; VERTICAL SURFACES TO RECIEVE PPMA			se l	
6	FLASHING SYSTEM. NEW REGLETS TO BE		SE		
O	CUT INTO EXISTING CONCRETE AND GRANITE CURBS		31		
	FOR TERMINATION OF NEW WATERPROOFING.				
	COORDINATE WITH ARCHITECT PRIOR TO PERFORMING				
	WORK ON REGLETS. NEW WATERPROOFING SYSTEM TO				
	TERMINATE APPROXIMATELY 1/4" BELOW NEW				
	MORTAR/RIVER STONE SETTING BED. WATERSTOPS TO				
	BE INSTALLED WHERE INDICATED.				
7	INSTALL NEW MORTAR SETTING BED WITH NEW RIVER		SF		
	STONES TO IN-LIKE KIND CONDITION.	,	31		
	CONTRACTOR TO TEMPORARILY DISCONNECT				
	ELECTRICAL AND/OR MECHNICAL SERVICES				
8	AS REQUIRED IN ORDER TO PERFORM THE WORK.	E	A.		
	RECONNECTION TO BE PERFORMED				
	UPON COMPLETION OF THE WORK.				
SUB-T	<u>-</u>				
General Conditions				%	
Permitting				%	
Insurance & Bonding				%	
Mobilization & Demobilization				%	
Staging / Access				%	
Charges & Fees (if applicable)				%	
TOTA	L BASE BID				



Chinatown Fountain Streambed Repair Project Boston, MA

GRLA Project #: 2024031.01

September 27, 2024

Note:

All dimensions and quantities should be verified by the Contractor.

The Bid Form is meant to give a general break out of the overall scope and is not absolute. The bidder is required to price all scope outlined in the Bid Documents. Discrepancies in the Bid Form and Bid Documents shall be brought to the Architect's attention in writing as outlined in the Bid Documents so that the Architect can provide a clarification.

ALTERNATE #1					
LINE	ITEM	Quantity	Unit	Unit Price	Total
	(ADD) REPAIR CRACKS AT EXTERIOR CONCRETE CURB.				
1	REPAIR ANY ANDALL SPALLS, CRACKS, DEFECTS, ETC., IN		LF		
_	EXISTING CONCRETE CURB TO REMAIN. ATTACHED				
	GRANITE CURB TO REMAIN.				
SUB-TOTAL SUB-TOTAL					
General Conditions %			%		
Permitting				%	
Insurance & Bonding			%		
Mobilization & Demobilization			%		
Staging / Access			%		
Charges & Fees (if applicable)				%	
TOTAL ALTERNATE #1					

Note:

All dimensions and quantities should be verified by the Contractor.

The Bid Form is meant to give a general break out of the overall scope and is not absolute. The bidder is required to price all scope outlined in the Bid Documents. Discrepancies in the Bid Form and Bid Documents shall be brought to the Architect's attention in writing as outlined in the Bid Documents so that the Architect can provide a clarification.



Chinatown Fountain Streambed Repair Project Boston, MA

GRLA Project #: 2024031.01

September 27, 2024

ALTERNATE #2						
LINE	ITEM	Quantity	Unit	Unit Price	Total	
1	(ADD) CUTTING OF A HORIZONTAL REGLET IN EXISTING CONCRETE SLAB IN FRONT OF WATERFALL GRANITE FASCIA. TERMINATION OF PMMA TO OCCUR AT THIS REGLET WITH COMPATIBLE POURABLE SEALER. (DEDUCT) REMOVE AND STORE EXISTINGGRANITE FASCIA WATERFALL STONES; REMOVE STONES BACK TO CONCRETE CORE STRUCTURE CONTAINING EXISTING WATERFALL "WELLS". REINSTALL GRANITE FASCIA WATERFALL STONES AFTER INSTALLATION OF PMMA WATERPROOFING SYSTEM. INSTALLATION OF PMMA AT WATERFALL "WELLS" AND VERTICAL CONCRETE CORE STRUCTURE IN CONJUNCTION WITH ASSOCIATED WATERSTOPS AND OTHER ACCESSORIES.		LF			
SUB-T	OTAL					
General Conditions			%			
Permitting			%			
Insurance & Bonding			%			
Mobilization & Demobilization			%			
Staging / Access			%			
Charges & Fees (if applicable)				%		
TOTAL	L ALTERNATE #2					

Note:

All dimensions and quantities should be verified by the Contractor.

The Bid Form is meant to give a general break out of the overall scope and is not absolute. The bidder is required to price all scope outlined in the Bid Documents. Discrepancies in the Bid Form and Bid Documents shall be brought to the Architect's attention in writing as outlined in the Bid Documents so that the Architect can provide a clarification.